

SITE DEVELOPMENT PLANS FOR

THE **CHOCOLATE** FACTORY

ADAPTIVE REUSE OF HISTORIC STRUCTURES

150 OAKLAND STREET MANSFIELD, MA

OWNER/APPLICANT:
 THE CHOCOLATE FACTORY, LLC
 338 BEACON STREET
 BOSTON, MA 02116

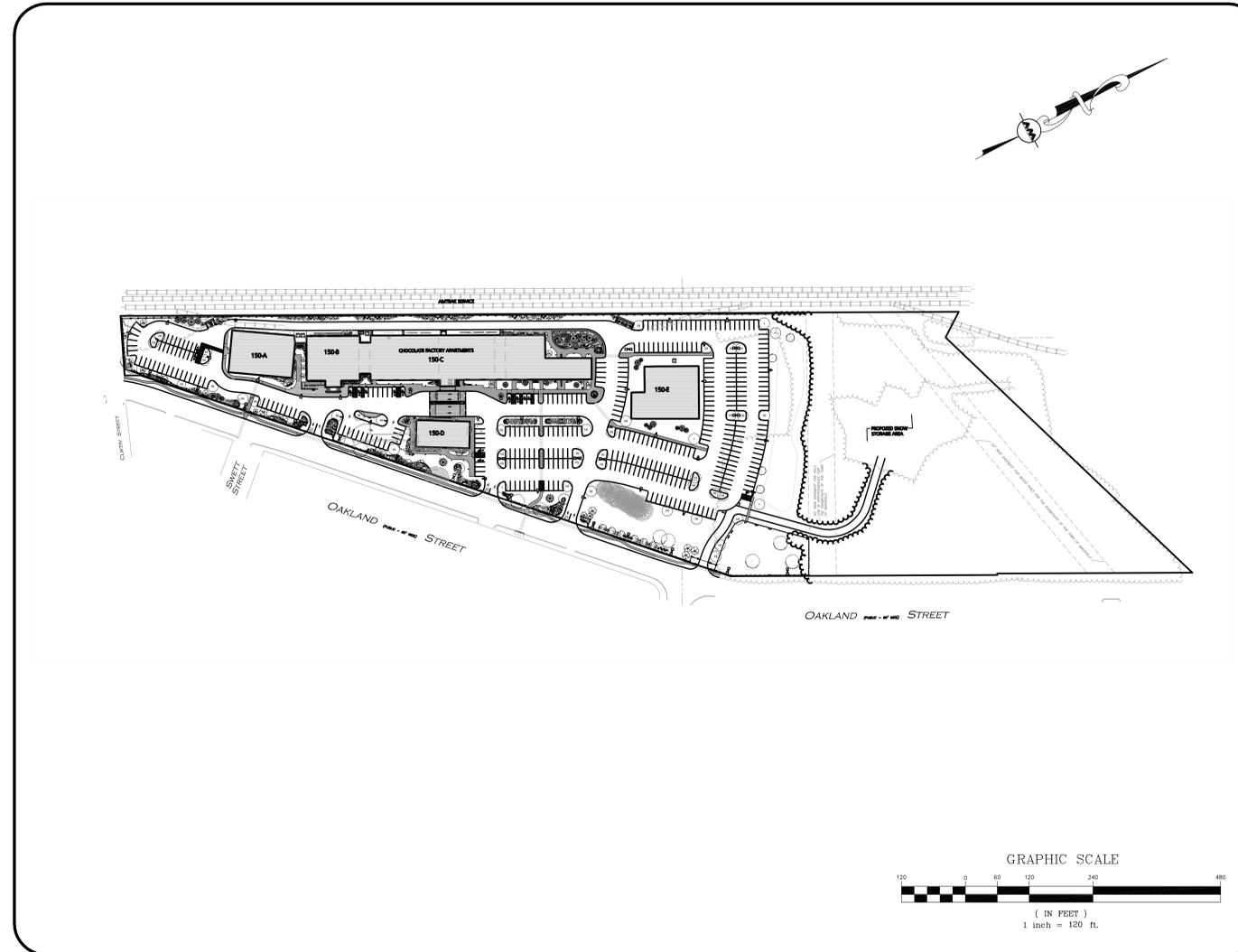
SITE ENGINEERS/SURVEYORS:
 ALLEN & MAJOR ASSOCIATES, INC.
 10 MAIN STREET
 LAKEVILLE, MA 02347

ARCHITECT:
 BKA ARCHITECTS, INC.
 142 CRESCENT STREET
 BROCKTON, MA 02302

TRAFFIC ENGINEERS:
 BAYSIDE ENGINEERING
 600 UNICORN PARK DRIVE
 WOBURN, MA 01801

MECHANICAL ENGINEER:
 BUILDING ENGINEERING RESOURCES, INC.
 66 MAIN STREET
 NORTH EASTON, MA 02356

GEOTECHNICAL ENGINEER:
 UTS OF MASSACHUSETTS, INC.
 2 RICHARDSON LANE
 STONEHAM, MA 02180



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS PLAN	I & 2	10-27-2015	-
EROSION & SEDIMENT CONTROL PLAN	C-1	2-1-2016	-
LAYOUT & MATERIAL PLAN	C-2	2-1-2016	-
GRADING & DRAINAGE PLAN	C-3	2-1-2016	-
UTILITY PLAN	C-4	2-1-2016	-
LANDSCAPE PLAN	C-5	2-1-2016	-
VEHICLE MOVEMENT PLAN	C-6	2-1-2016	-
DETAILS	D-1 - D-5	2-1-2016	-
ARCHITECTURAL PLANS	2 of 2	2-1-2016	-
PHOTOMETRIC PLAN	I OF I	10-29-2015	-



LOCUS MAP
 NOT TO SCALE

PREPARED BY



ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land surveying
 environmental consulting • landscape architecture
 www.allenmajor.com

10 MAIN STREET
 LAKEVILLE, MA 02347-1674
 TEL: (508) 928-1019
 FAX: (508) 928-6309

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH



PROFESSIONAL ENGINEER FOR
 ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR SPECIAL PERMIT
 FEBRUARY 1, 2016

GENERAL NOTES:

- 1. FOR EXISTING CONDITIONS SURVEY, SEE PLAN ENTITLED: EXISTING CONDITIONS - 150 OAKLAND STREET IN MANSFIELD, MA - BY ALLEN AND MAJOR ASSOCIATES INC.-100 COMMERCE WAY, WOBURN MA 01888 AND DATED AUGUST 12, 2015.
- 2. ZONING DISTRICT IS RESIDENTIAL AND BUSINESS.
- 3. THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- 5. ALL MAIN BUILDING WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS.
- 6. ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- 7. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- 8. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION, ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- 9. ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, MA DEP, AND THE REQUIREMENTS OF THE MANSFIELD CONSERVATION COMMISSION.
- 10. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- 12. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.

UTILITY NOTES:

- 1. THE LATEST STANDARDS OF THE TOWN OF MANSFIELD SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF MANSFIELD PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. THE LATEST STANDARDS OF THE TOWN OF MANSFIELD SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF MANSFIELD PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- 3. THE CONTRACTOR SHALL REFER TO ARCHITECTS & PLUMBING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- 5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGER TO BE REMOVED, ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- 6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- 7. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - SEWER - DUCTILE IRON
 - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 - WATER - C.L.D.I.
- 8. REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES AND UTILITY ABANDONMENT.
- 9. BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF MANSFIELD THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- 10. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- 11. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- 12. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 13. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 14. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- 15. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
- 16. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES AND A MAXIMUM OF 8'-0" COVER.
- 17. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON

- 13. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- 14. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- 15. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 16. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- 17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY PER OR SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- 18. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- 20. DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION FILL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE, IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- 21. ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- 22. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- 23. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF MANSFIELD'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- 24. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- 25. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- 26. EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION & DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- 27. EXISTING & PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY.

- BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- 18. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- 19. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.
- 20. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- 21. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 22. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS.
- 23. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF MANSFIELD REQUIREMENTS.
- 24. PRESSURE AND LEAKAGE TEST, DISINFECTING AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- 25. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- 26. SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.

GRADING & DRAINAGE NOTES:

- 1. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- 2. THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- 3. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- 4. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE OF THE LOAM. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE. UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA, REFER TO EROSION CONTROL PLAN.
- 6. TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- 7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- 8. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS.
- 9. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- 10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE & CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- 12. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.

SERVICING THE PROJECT SITE.

- 28. CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- 29. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS.
- 30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS BUILDING MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 31. DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAM SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

EROSION & SEDIMENTATION CONTROL NOTES:

- 1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2012 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 203 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- 2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND/OR FINISHED OR PERMANENTLY CEASED TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN AREAS OF ALL GRADED AREAS AND IN VEGETATIVE SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- 3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDDED WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- 4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS APPROPRIATE. SITUATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- 5. ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE NATIONAL POLLUTANT DISCHARGE LIMITATION SYSTEM (NPDLS) EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- 6. ADJACENT ROADS SHALL BE PERIODICALLY SWEEP OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- 7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. ALL SILT SACKS SHALL BE HELD THROUGHOUT THE CONSTRUCTION PERIOD. PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- 8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDDED AREAS AS SPECIFIED ON THE DESIGN PLANS.
- 9. AT A MINIMUM, ALL STRAW BALE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED. THE TOWN OF MILTON CONSERVATION COMMISSION MUST APPROVE THE REMOVAL OR RELOCATION OF ANY OF THE STRAW BALES AND FILTER FABRIC.
- 10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- 11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTORS FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- 12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY

ABBREVIATIONS:

ABAN	ABANDON	FA	FIRE ALARM
ADA	AMERICANS WITH DISABILITIES ACTS	FCC	FLUSH CONCRETE CURB
ADJ	ADJUST	FES	FLARED END SECTION
AD	ADRAIN	FFL	FINISH FLOOR ELEVATION
		FLNP	FIRE LANE NO PARKING
B	BORING	FPS	FEET PER SECOND
BC	BOTTOM OF CURB	FS	FIRE SERVICE
BIT	BITUMINOUS	FT	FOOT/FEET
BCB	BITUMINOUS CONCRETE BERM	GC	GENERAL CONTRACTOR
BLD	BUILDING	GEN	GENERAL
BM	BENCH MARK	GG	GAS GATE
BOS	BOTTOM OF SLOPE	GR	GUIDE RAIL
BOW	BOTTOM OF WALL	GRAN	GRANITE
BRK	BRICK	GV	GATE VALVE
EV&B	VERTICALLY VALVE & BOX	GV&B	GATE VALVE & BOX
BWV	BORDERING VEGETATED WETLAND	GW	GROUND WATER
CATV	CABLE TELEVISION	H	HORIZONTAL
CB	CATCH BASIN	HOR	HORIZONTAL
CF	CUBIC FEET	HT	HEIGHT
CFS	CUBIC FEET PER SECOND	HW	HEADWALL
CI	CAST IRON (PIPE)	HWY	HIGHWAY
CL	CENTERLINE	HYD	HYDRANT
CLDI	CEMENT LINED DUCTILE IRON (PIPE)	ID	INSIDE DIAMETER
CLF	CHAIN LINK FENCE	INCHES	INCHES
CM	CONSTRUCTION MANAGER	INCL	INCLUDE
CMP	CORRUGATED METAL PIPE	INST	INSTALLED
CO	CLEAN OUT	IN, I.E.	INVERT, INVERT ELEVATION
CONC	CONCRETE	LB	LENGTH
CONST	CONSTRUCTION	LP	LEACHING BASIN
CONT	CONTRACTOR	LP	LIGHT POLE
COORD	COORDINATE	LP	LIGHT POLE
CPP	CORRUGATED POLYETHYLENE PIPE	MAT	MATERIAL
CUL	CULVERT	MAX	MAXIMUM
CY	CUBIC YARD	MH	MANHOLE
		MN	MINIMUM
DB	DISTRIBUTION BOX	MISC	MISCELLANEOUS
DBL	DOUBLE	MTD	MOUNTED
DEM	DEMOLISH	MW	MONITORING WELL
DET	DETENTION	N	NORTH
DI	DUCTILE IRON (PIPE)	NIC	NOT IN CONTRACT
DIA	DIAMETER	NO	NUMBER
DIM	DIMENSION	NTS	NOT TO SCALE
DMP	DRAIN MANHOLE	ON	ON CENTER
DW	DOMESTIC WATER (OR DRY WELL)	OD	OUTSIDE DIAMETER
DWG	DRAWING	OHV	OVERHEAD WIRE
DYCL	DOUBLE YELLOW CENTERLINE	OHVD	OVERHEAD OBSERVATION WELL
EHH	ELECTRIC HANDHOLE	PC	POINT OF CURVATURE
ELEV	ELECTRIC	PCC	PRECAST CONCRETE CURB
ELEC	ELECTRIC	PI	POINT OF INTERSECTION
EMH	ELECTRIC MANHOLE	PL	PROPERTY LINE
EOP	EDGE OF PAVEMENT	PLMB	PLUMBING
EOR	EDGE OF ROAD	POT	POINT ON TANGENT
EOW	EDGE OF WETLANDS	PRC	POINT OF REVERSE CURVATURE
ETC	ELECTRIC, TELEPHONE, CABLE	PROP, P	PROPOSED
EXIST	EXISTING	PT	POINT (OR POINT OF TANGENT)
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE (PIPE)

- ACCUMULATED SEDIMENT IN THESE AREAS, THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- 13. FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. SEEDING SHALL BE CARRIED OUT IN PHASES TO MAINTAIN VEGETATION FOLLOW UP INSPECTORS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- 14. CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE, INCLUDING THE ORDER OF CONDITIONS FROM THE MILTON CONSERVATION COMMISSION. ALL CONDITIONS & RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
- 15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE TOWN OF MILTON.
- 16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- 17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- 18. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDDED FOR TEMPORARY VEGETATIVE COVER. AN AREA, SUBJECT TO EROSION SHALL BE LEFT UNDISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
- 19. HAYBALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS. NO SEDIMENTATION SHALL ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
- 20. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS AND SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH 1/4" RAINFALL EVENT. CONTRACTOR TO PROVIDE ALL WEEKLY REPORTS IN CONJUNCTION WITH THE EROSION CONTROL / NATIONAL POLLUTANT DISCHARGE LIMITATION SYSTEM (NPDLS) CONSTRUCTION SITE PERMIT REQUIREMENTS (NPDES PERMIT) TO OWNER AND ENGINEER ON A WEEKLY BASIS OR MORE FREQUENTLY AS NECESSARY.
- 21. ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- 22. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL HAYBALES AND EXTRA SITUATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- 23. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT, WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN OF MILTON, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
- 24. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF MILTON, MA DEP, EPA CONSTRUCTION GENERAL PERMIT STANDARDS. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE SITE PLAN REGULATIONS FROM THE TOWN OF MILTON AND THE MASS DEPARTMENT OF CONSERVATION SERVICE VEGETATIVE PRACTICES IN SITE DEVELOPMENT.
- 25. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.
- 26. IF DETERMINING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION, ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE SITE SHALL BE STOPPED IMMEDIATELY PRIOR TO DIRECTING THE STRUCTURES CAPACITY TO SETTLE AND FILTER FLOW OR IS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY THE SEDIMENT REMOVAL STRUCTURE. PRIOR TO CONSTRUCTION OF THE BUFFER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- 27. INITIATE STABILIZATION IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
- 28. ALL DISCHARGES FROM POLLUTION SOURCES SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, PAINTS, CLEANING OILS FROM EQUIPMENT AND OTHER CONSTRUCTION CHEMICALS, POLLUTANT USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS FROM EQUIPMENT IS PROHIBITED. IF POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT OR ALL CHEMICALS IN ADDITION TO SILT-PROOF CONTAINERS.
- 29. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS, AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
- 30. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
- 31. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
- 32. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
- 33. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES. ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED IMMEDIATELY. REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY, WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.

ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

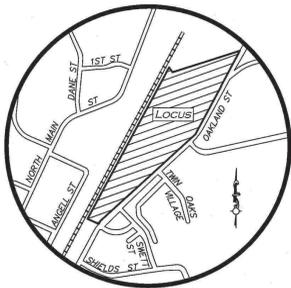
PROJECT NO.	2063-01A	DATE:	2-1-2016
SCALE:	AS NOTED	DWG. NAME:	DETAILS

DESIGNED BY: CMC/PGM CHECKED BY: PLC

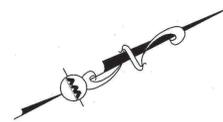


ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (508) 928-1010
FAX: (508) 928-6809
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

DRAWING TITLE: **NOTES & ABBREVIATIONS** SHEET No. **ABB-1**

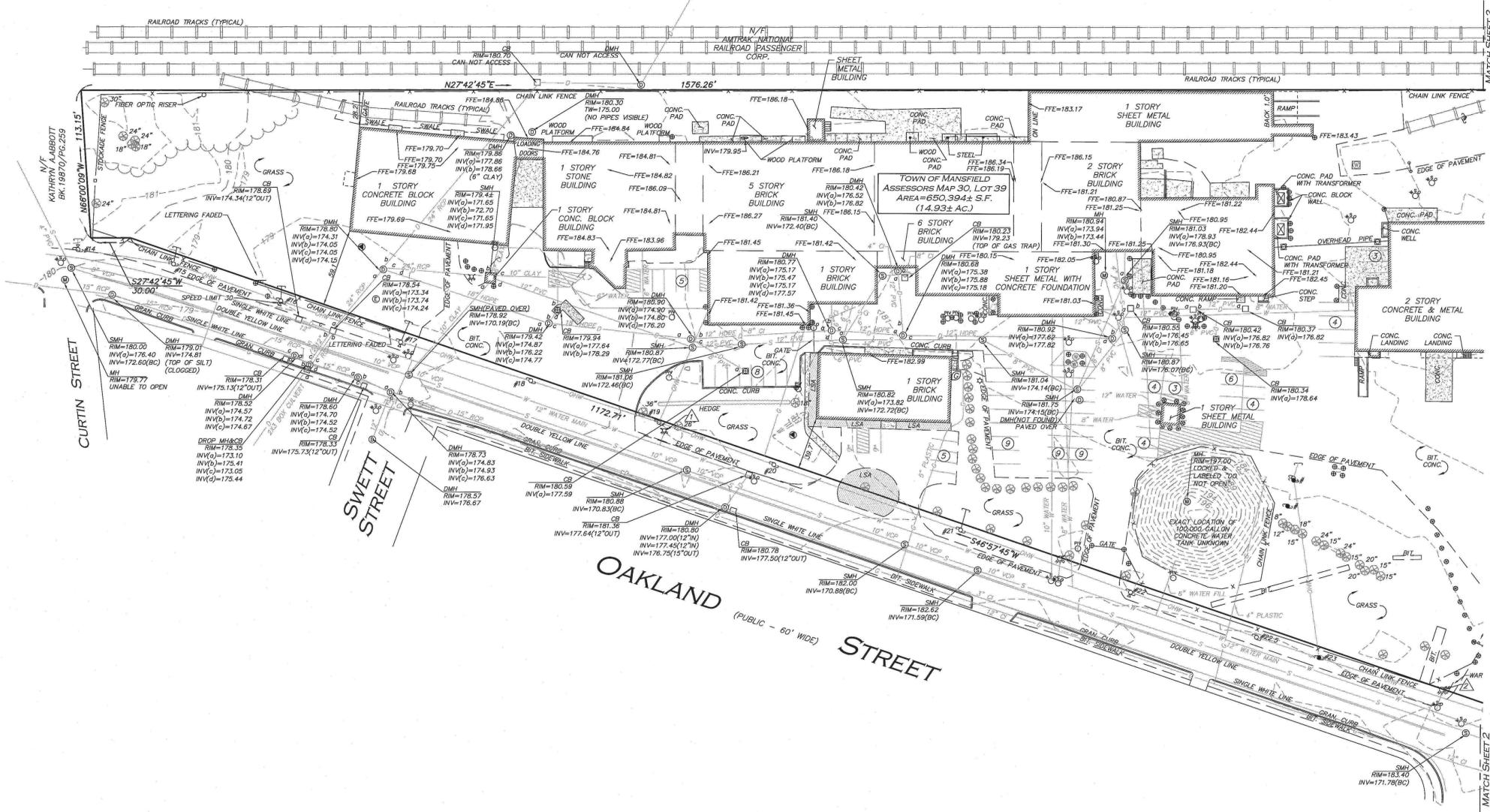


LOCUS MAP
(NOT TO SCALE)



THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN AUGUST 9, 2014 AND AUGUST 11, 2015.

ALLEN & MAJOR ASSOCIATES, INC.



LEGEND

DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊕
ELECTRIC MANHOLE (EMH)	⊖
MISC. MANHOLE (MH)	⊗
TELEPHONE MANHOLE (TMH)	⊘
WATER MANHOLE (WMH)	⊙
CATCH BASIN (CB)	⊠
ROUND CATCH BASIN (RCB)	⊡
UTILITY POLE	⊙
UTILITY POLE W/LIGHT	⊙
GLY WIRE	—
FIRE HYDRANT	⊙
WATER GATE	⊙
GAS GATE	⊙
BOLLARD	⊙
LIGHT	⊙
TREE	⊙
SIGN	⊙
FLAG POLE	⊙
GAS METER	⊙
POSITION INDICATOR VALVE	⊙
CONCRETE	CONC.
LANDSCAPED AREA (LSA)	LSA
BUILDING	BUILDING
BUILDING OVERHANG	BUILDING OVERHANG
EASEMENT LINE	EASEMENT LINE
1' CONTOUR	1' CONTOUR
5' CONTOUR	5' CONTOUR
PROPERTY LINE	PROPERTY LINE
ABUTTERS LINE	ABUTTERS LINE
TREE LINE	TREE LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF GRAVEL	EDGE OF GRAVEL
CURB	CURB
CHAIN LINK FENCE	CHAIN LINK FENCE
STOCKADE FENCE	STOCKADE FENCE
WATER LINE	WATER LINE
SEWER LINE	SEWER LINE
DRAIN LINE	DRAIN LINE
GAS LINE	GAS LINE
OVERHEAD WIRES	OVERHEAD WIRES
FINISHED FLOOR ELEVATION	FFE
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
VITRIFIED CLAY PIPE	VCP
POLYVINYL CHLORIDE PIPE	PVC
REINFORCED CONCRETE PIPE	RCP
HIGH DENSITY POLYETHYLENE	HDPE
CAST IRON	CI
INVERT	INV
BOTTOM CENTER	BC
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
LAND COURT	L.C.
LAND COURT CASE	L.C.C.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO.	2063-01	DATE:	10/27/15
SCALE:	1" = 40'	DWG. NAME:	S2063-01-EC
DRAFTED BY:	AJR/KAC	CHECKED BY:	COB/KJK

UTILITY STATEMENT
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY

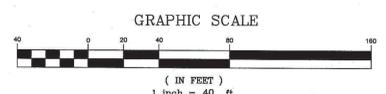
TBM #	DESCRIPTION	ELEV.
	HYDRANT FLANGE	183.42
	BOLT HYDRANT	
	HYDRANT FLANGE	185.84
	BOLT HYDRANT	

LOCUS REFERENCES
-TOWN OF MANSFIELD ASSESSORS MAP 30, LOT 39
-L.C. 18780A
-L.C. BOOK 55, PAGE 62

PARKING SUMMARY

STANDARD STALLS	73
HANDICAPPED STALLS	2
TOTAL STALLS	75

NOTES
1. NORTH ARROW IS BASED UPON MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE) (NAD 1983).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM BRISTOL (NORTH) REGISTRY OF DEEDS IN TAUNTON, MA.
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').



N:\PROJECTS\2063-01\SURVEY\DRAWINGS\S-2063-01-EC.DWG
REV 1708 PG. 02

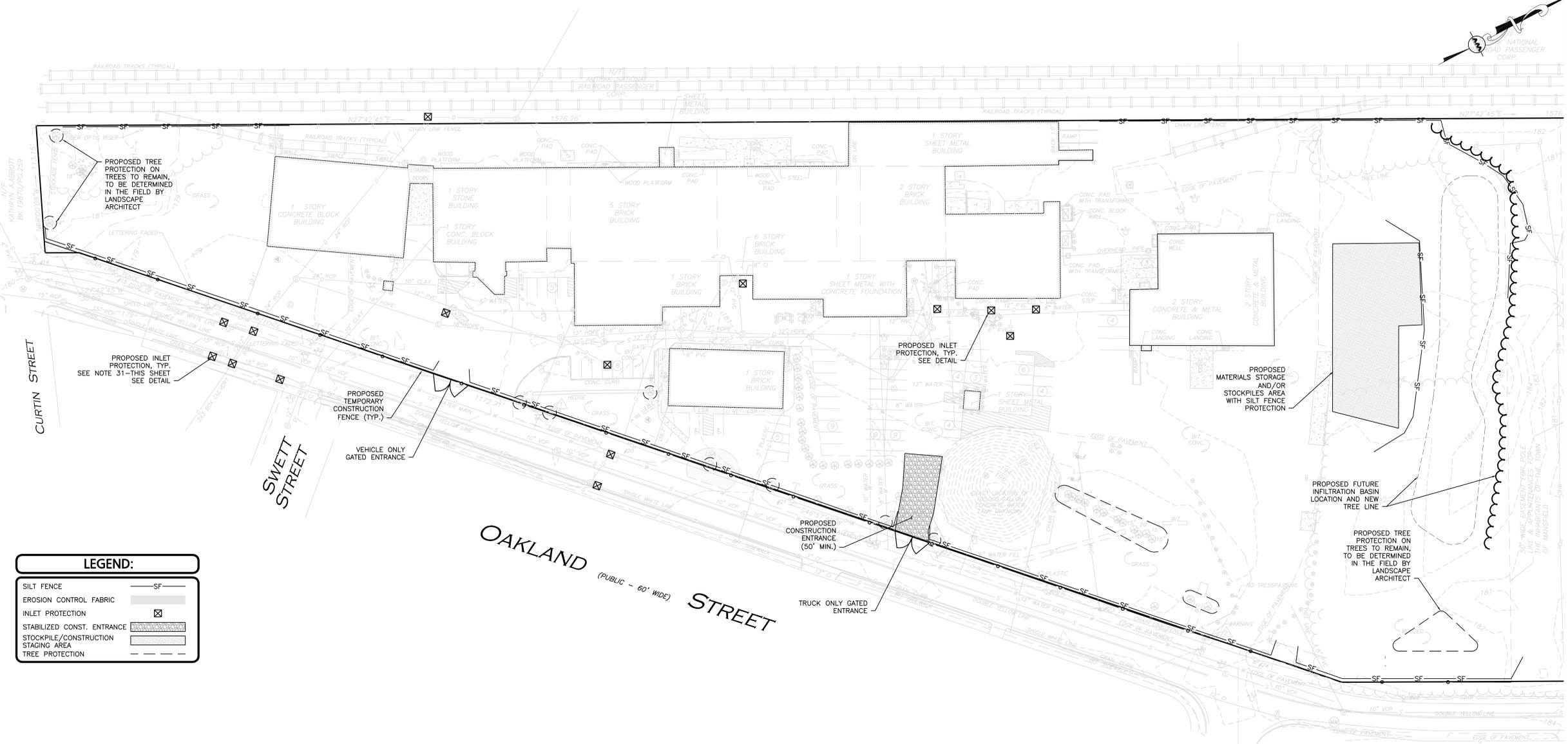
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

100 COMMERCE WAY
P.O. BOX 9118
WOBURN, MA 01888-0118
TEL: (781) 935-8889
FAX: (781) 935-2896
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET NO.
EXISTING CONDITIONS	1 OF 2

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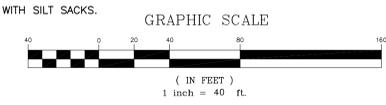
LEGEND:

SILT FENCE	SF
EROSION CONTROL FABRIC	[Symbol]
INLET PROTECTION	[Symbol]
STABILIZED CONST. ENTRANCE	[Symbol]
STOCKPILE/CONSTRUCTION STAGING AREA	[Symbol]
TREE PROTECTION	[Symbol]

EROSION & SEDIMENTATION CONTROL NOTES:

- EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH B.M.P. (BEST MANAGEMENT PRACTICES) PER THE E.P.A. 2012 "CONSTRUCTION GENERAL PERMIT" MANUAL, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ANY SUCH MODIFICATIONS FROM THE ABOVE MANUALS SHALL BE INSTALLED AS APPROVED BY THE ENGINEER.
- AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY (UNLESS THE TOWN HAS STRICTER REQUIREMENTS WHICH SHALL BE FOLLOWED) IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY EROSION CONTROL MEASURES SHALL INCLUDE EROSION CONTROL MESH, NETTING OR MULCH AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND SHOWN ON THE DESIGN PLANS. IF MULCH IS USED, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 4 BALES PER 1,000 SQUARE FEET. APPLICATION AREA SHALL BE SUFFICIENTLY COVERED WITH MULCH TO AVOID ANY VISIBLE SOIL EXPOSURE. MULCH SHALL BE KEPT MOIST TO AVOID LOSS DUE TO WIND. MULCH AND NETTING SHALL BE APPLIED IN THE BASE OF ALL GRASSED WATERWAYS AND IN VEGETATED SLOPES WHICH EXCEED 15% AND DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS.
- IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR, THEN ALL DISTURBED AREAS SHALL BE SEEDING WITH A WINTER COVER CROP AT THE RATE OF 3 LBS PER 1,000 SQUARE FEET. WINTER SEEDING SHALL BE COVERED WITH EROSION CONTROL MESH (MULCH AND NETTING). HEAVY GRADE MATS SHALL BE USED IN THE BASE OF ALL GRASSED WATERWAYS ON VEGETATED SLOPES IN EXCESS OF 15%, AND ANY DISTURBED AREAS WITHIN 100 FEET OF WETLANDS OR STREAMS. MULCH AND NETTING SHALL ALSO BE PROVIDED FOR ADDITIONAL WINTER PROTECTION.
- ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDING WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED, AND REUSED AS REQUIRED. SILTATION FENCING SHALL BE PLACED DOWN GRADIENT FROM STOCKPILED LOAM. LOAM SHALL BE STOCKPILED AT LOCATIONS DESIGNATED BY THE OWNER AND ENGINEER.
- ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN. THESE SHALL BE MAINTAINED DURING DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER. ALL THE FILTER BARRIERS AND EROSION CONTROL BERMS SHALL BE INSPECTED AFTER ANY RAINFALL OR RUNOFF EVENT, MAINTAINED AND CLEANED UNTIL ALL AREAS HAVE AT LEAST 85-90% VIGOROUS PERENNIAL COVER OF GRASSES.
- ADJACENT ROADS SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. A WATERING TRUCK WILL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS.
- THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION. CATCH BASIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION BY THE USE OF STRAW BALE BARRIERS AROUND EACH INLET. SILT SACKS SHALL BE INSTALLED IN ALL EXISTING BASINS. INLET PROTECTION MAY BE REMOVED ONLY AFTER FINISHED AREAS ARE PAVED AND THE VEGETATED SLOPES ARE ESTABLISHED WITH AT LEAST 85-90% OF VIGOROUS PERENNIAL GROWTH.
- AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDING AREAS AS SPECIFIED ON THE DESIGN PLANS.
- AT A MINIMUM, ALL STRAW BALE AND SILT FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED.
- AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS. THE CONTRACTOR, AT HIS EXPENSE, WILL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ADDITIONAL MEASURES AS SPECIFIED BY THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO REQUESTS BY MA DEP, THE ENGINEER AND THE MUNICIPALITY, AS AUTHORIZED BY THE OWNER. FAILURE TO COMPLY WITH THE OWNER'S DIRECTIONS WILL RESULT IN DISCONTINUATION OF CONSTRUCTION ACTIVITIES.
- INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. WEEKLY INSPECTIONS SHALL BE HELD THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITY. WEEKLY INSPECTION REPORTS SHALL BE MAINTAINED BY THE CONTRACTOR AND LOCATED IN THE CONTRACTOR'S FIELD OFFICE ONSITE. IN ADDITION TO THE NORMAL WEEKLY INSPECTIONS, THE CONTRACTOR SHALL PERFORM AN INSPECTION OF ALL EROSION CONTROL MEASURES AFTER EACH RAINFALL OR RUNOFF EVENT, AND PERFORM THE NECESSARY REPAIRS. THE INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE SITE'S DOWN STREAM DISCHARGE POINTS.
- IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT IN THESE AREAS. THE CONTRACTOR SHALL ALSO IMMEDIATELY PROVIDE ADDITIONAL ON SITE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT FURTHER DEGRADATION OF THE AREA.
- FOLLOWING THE TEMPORARY OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMI-MONTHLY TO ENSURE THE AREAS HAVE A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH. RE-SEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.
- CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS. CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPROVED PERMITS ONSITE. ALL CONDITIONS & RECOMMENDATIONS WITHIN THE APPROVED PERMITS SHALL BE COMPLETED.
- ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE. ANY MODIFICATIONS SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR THE TOWN.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

- TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDING FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK OR SIX MONTHS AFTER SOIL HAS BEEN DISTURBED WHICHEVER IS LESS.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS AND SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH 1/4" RAINFALL EVENT. CONTRACTOR TO PROVIDE ALL WEEKLY REPORTS IN CONJUNCTION WITH THE EROSION CONTROL / NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM CONSTRUCTION SITE PERMIT REQUIREMENTS (NPDES PERMIT) TO OWNER AND ENGINEER ON A WEEKLY BASIS OR MORE FREQUENTLY AS NECESSARY.
- ALL PROPOSED SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION UNTIL WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL HAYBALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER OR THE TOWN ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT. WEEKLY SWPPP INSPECTION REPORTS TO BE PERFORMED BY CONTRACTOR. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.
- IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION. ALL CHANNELS, SWALES, AND DITCHES DUG FOR DISCHARGING WATER FROM THE EXCAVATED AREA SHALL BE STABLE PRIOR TO DIRECTING DISCHARGE TO THEM. IF A CONSTRUCTION EQUIPMENT BUCKET IS USED, IT SHALL EMPTY THE MATERIAL TO A STABLE AREA. NO DEWATERING SHALL OCCUR DURING PERIODS OF INTENSE, HEAVY RAIN. FLOW TO THE SEDIMENT REMOVAL STRUCTURE SHALL NOT EXCEED THE STRUCTURES CAPACITY TO SETTLE AND FILTER FLOW OR IS VOLUME CAPACITY. WHENEVER POSSIBLE, THE DISCHARGE FROM THE SEDIMENT REMOVAL STRUCTURE SHALL DRAIN TO A WELL-VEGETATED BUFFER BY SHEET FLOW WHILE MAXIMIZING THE DISTANCE TO THE NEAREST WATER RESOURCE AND MINIMIZING THE SLOPE OF THE BUFFER AREA. THERE SHALL BE NO DIRECT DISCHARGE TO EXISTING WETLANDS OR STREAMS. ALL DISCHARGE SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- INITIATE STABILIZATION IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES.
- ALL DISCHARGES FROM POLLUTION SOURCES SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE, WASTEWATER FROM CLEAN OUT OF PAINTS, FORM RELEASE OILS, CURING COMPOUND AND OTHER CONSTRUCTION CHEMICALS, POLLUTANT USED FOR MAINTENANCE OF VEHICLES AND EQUIPMENT, SOAPS & SOLVENTS, TOXIC OR HAZARDOUS SUBSTANCES, CHEMICALS AND OILS FROM EQUIPMENT IS PROHIBITED. IF A POLLUTANT IS DISCHARGED IT NEEDS TO BE IMMEDIATELY CLEANED UP BY REMOVING THE CHEMICAL AND AFFECTED SOIL OR AREA OF SPILL FROM THE SITE. DO NOT HOSE DOWN AND SPREAD SPILLED ITEM. ALL CHEMICALS USED ON THE SITE SHALL BE IN LEAK-PROOF CONTAINERS STORED AWAY FROM SURFACE WATERS, STORMWATER INLETS, AND DRAINAGE MEASURES. SPILL KITS SHALL BE AVAILABLE ONSITE FOR EMERGENCY USE. THERE SHALL BE A SECONDARY CONTAINMENT OR ALL CHEMICALS IN ADDITION TO SPILL-PROOF CONTAINERS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS, AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS. PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
- ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
- ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED. IF ALL OTHER AVAILABLE STABILIZATION MEASURES ARE NOT POSSIBLE AND USE OF CATIONIC CHEMICALS IS ABSOLUTELY NECESSARY THE CONTRACTOR WILL NEED TO CONTACT THE EPA NEW ENGLAND OFFICE IN WRITING FOR APPROVAL AND SPECIFIC REQUIREMENTS (MAXIMUM DOSAGE RATE, RESIDUAL TESTING, SPECIFIC LIMITATIONS, ETC) PRIOR TO USE.
- IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION. ALL AREAS OF EXPOSED SOILS MUST BE COVERED.
- INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS. AT A MINIMUM INSPECTIONS SHALL INCLUDE ALL DISTURBED AREAS, ALL STORMWATER CONTROLS AND POLLUTION PREVENTION MEASURES, ALL LOCATIONS WHERE STABILIZATION MEASURES HAVE BEEN IMPLEMENTED, EQUIPMENT AND MATERIAL STORAGE AREAS, ALL AREAS WHERE STORMWATER FLOWS AND ALL POINTS OF DISCHARGE. WHEN CORRECTIVE ACTIONS ARE REQUIRED, THE CONTRACTOR MUST IMMEDIATELY TAKE ALL STEPS TO PREVENT POLLUTANT DISCHARGES UNTIL A PERMANENT SOLUTION IS IMPLEMENTED. AS NECESSARY NEW OR MODIFIED CONTROLS MUST BE INSTALLED AND OPERATIONAL, THE REPAIR MUST BE COMPLETED WITHIN 7 DAYS FROM THE TIME OF DISCOVERY. WITHIN 24 HOURS OF A TRIGGERING CONDITION OCCURRING THAT REQUIRES A CORRECTIVE ACTION, A CORRECTIVE ACTION REPORT MUST BE COMPLETED.
- ALL CATCH BASINS EXISTING AND PROPOSED, THAT FALL WITHIN THE CONSTRUCTION AREA OR MAY RECEIVE RUNOFF FROM CONSTRUCTION SHALL BE EQUIPPED WITH SILT SACKS. ADDITIONAL SACKS MAY BE REQUIRED AT THE DIRECTION OF THE ENGINEER AND/OR TOWN REQUIREMENT.



ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016
SCALE: 1" = 40' DWG. NAME: ErosionControl
DESIGNED BY: CMC/PGM CHECKED BY: PLC

PREPARED BY:

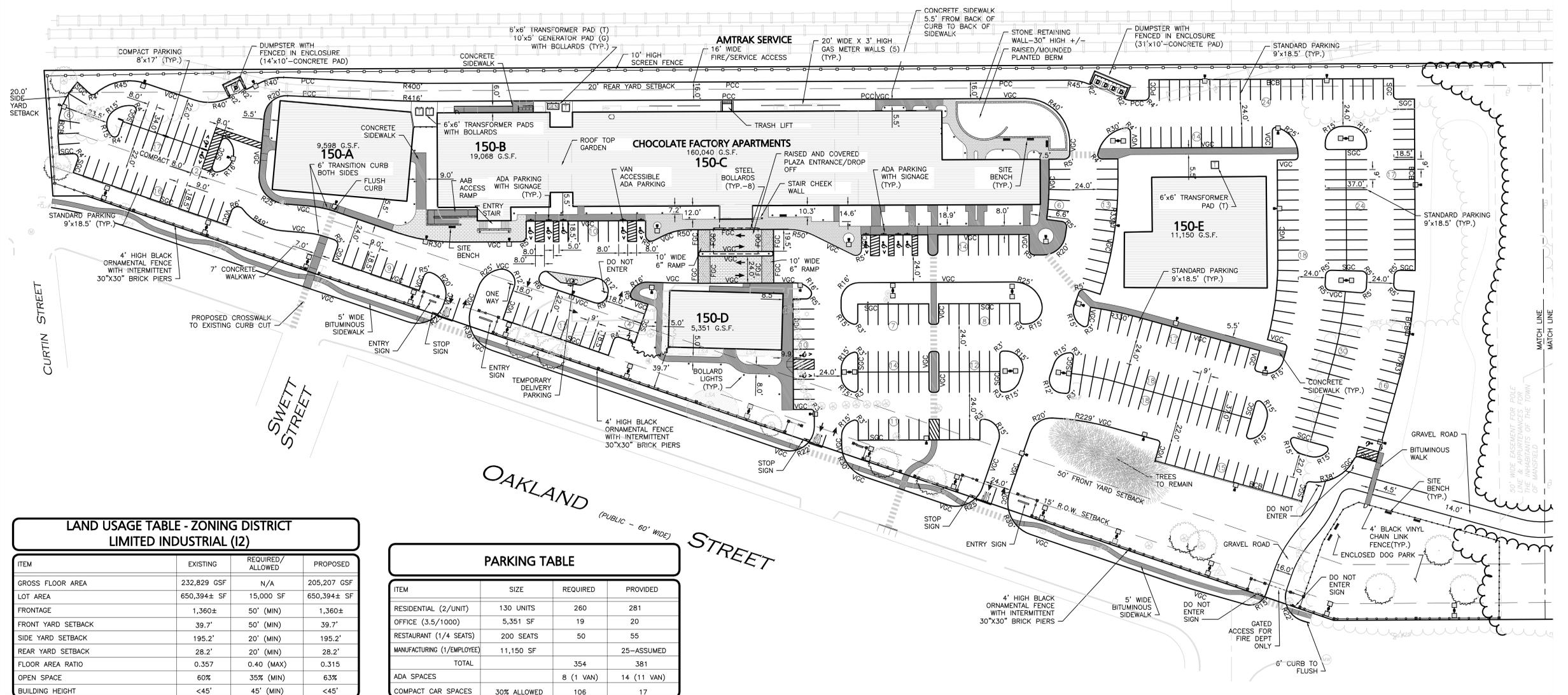
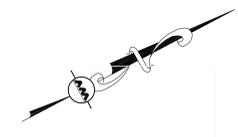
ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (508) 928-1010
FAX: (508) 928-6909

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: **EROSION & SEDIMENTATION CONTROL PLAN** SHEET No. **C-1**



LAND USAGE TABLE - ZONING DISTRICT LIMITED INDUSTRIAL (I2)

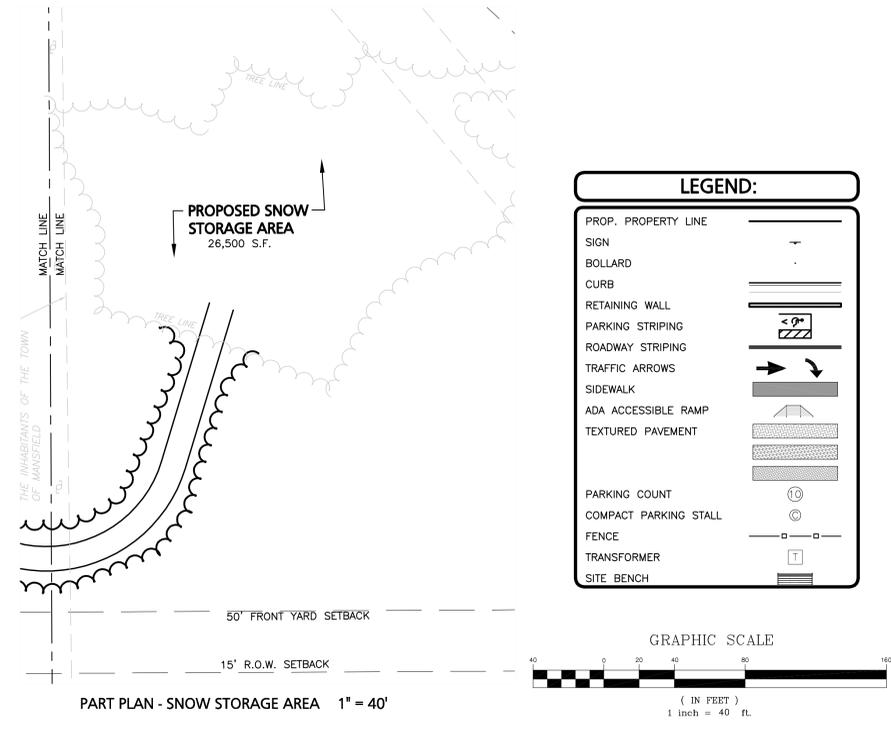
ITEM	EXISTING	REQUIRED/ALLOWED	PROPOSED
GROSS FLOOR AREA	232,829 GSF	N/A	205,207 GSF
LOT AREA	650,394± SF	15,000 SF	650,394± SF
FRONTAGE	1,360±	50' (MIN)	1,360±
FRONT YARD SETBACK	39.7'	50' (MIN)	39.7'
SIDE YARD SETBACK	195.2'	20' (MIN)	195.2'
REAR YARD SETBACK	28.2'	20' (MIN)	28.2'
FLOOR AREA RATIO	0.357	0.40 (MAX)	0.315
OPEN SPACE	60%	35% (MIN)	63%
BUILDING HEIGHT	<45'	45' (MIN)	<45'

PARKING TABLE

ITEM	SIZE	REQUIRED	PROVIDED
RESIDENTIAL (2/UNIT)	130 UNITS	260	281
OFFICE (3.5/1000)	5,351 SF	19	20
RESTAURANT (1/4 SEATS)	200 SEATS	50	55
MANUFACTURING (1/EMPLOYEE)	11,150 SF		25-ASSUMED
TOTAL		354	381
ADA SPACES		8 (1 VAN)	14 (11 VAN)
COMPACT CAR SPACES	30% ALLOWED	106	17

- GENERAL NOTES:**
- FOR EXISTING CONDITIONS SURVEY, SEE PLAN ENTITLED: EXISTING CONDITIONS - 150 OAKLAND STREET IN MANSFIELD, MA - BY ALLEN AND MAJOR ASSOCIATES INC.-100 COMMERCE WAY, WOBURN MA 01888 AND DATED OCTOBER 6, 2015
 - ZONING DISTRICT IS LIMITED INDUSTRIAL (I2).
 - THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
 - ALL MAIN BUILDING WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AB REGULATIONS.
 - ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
 - ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 - ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
 - ALL DISTURBED AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
 - ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
 - APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
 - ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
 - ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES

- SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY PER ON SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS FILL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF MANSFIELD'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION & DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- EXISTING & PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVICING THE PROJECT SITE.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR HAZARDOUS BUILDING MATERIALS ON SITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DOES NOT MEET THE ORDINARY FILL SPECIFICATIONS OR LOAD SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFF-SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOLLERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL. PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO REUSE AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.



ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

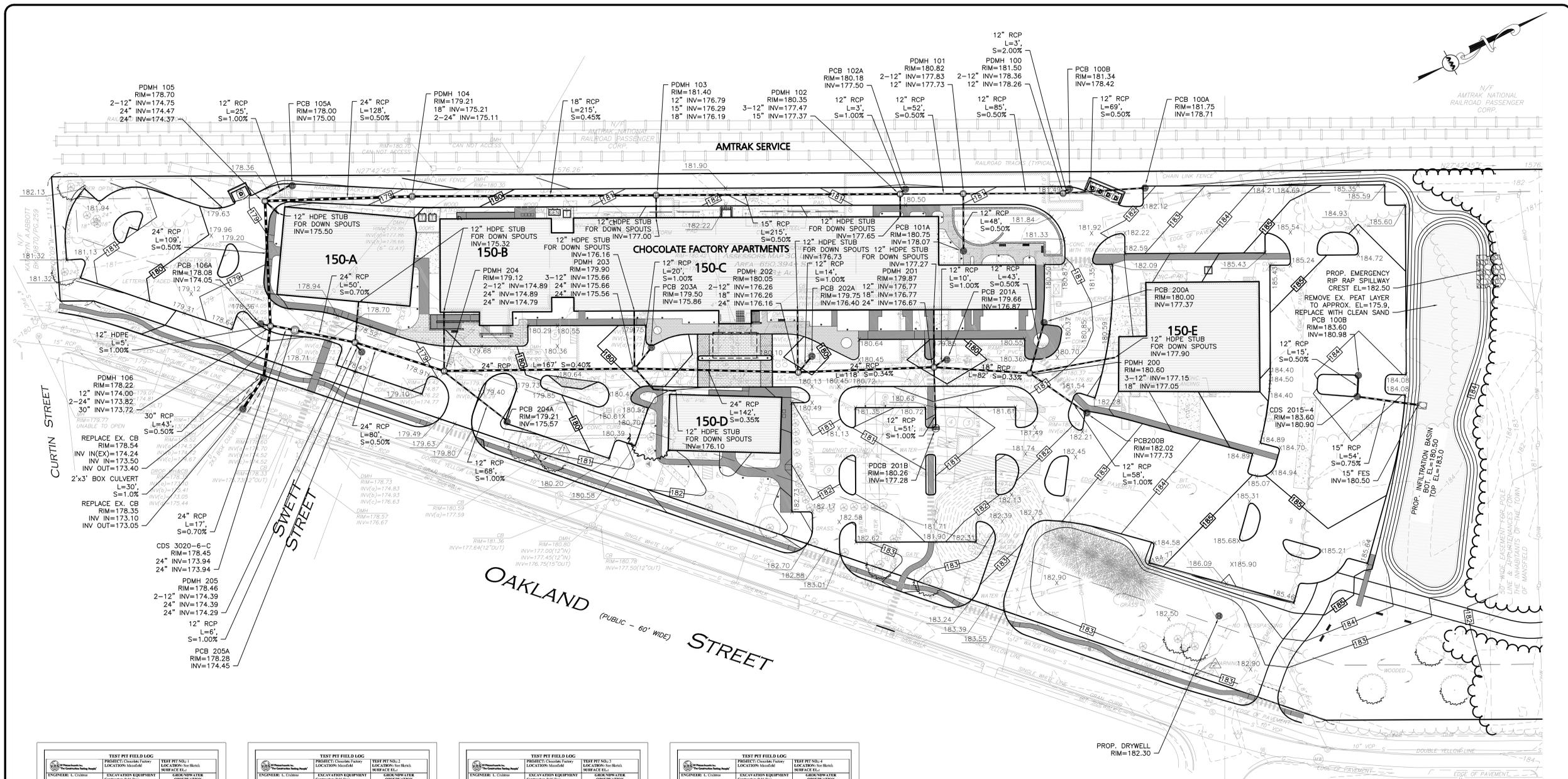
PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016
SCALE: 1" = 40' DWG. NAME: LAYOUT
DESIGNED BY: CMC/PGM CHECKED BY: PLC



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DRAWING TITLE: **LAYOUT & MATERIAL PLAN** SHEET NO. **C-2**



GRADING & DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL BE FLUSH WITH FINISH GRADE OF THE LOAM. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA. REFER TO EROSION CONTROL PLAN.
- TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PRECLUDE SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE & CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- ALL DRAINAGE PIPE SHALL BE REINFORCE CONCRETE PIPE (RCP) CLASS V, UNLESS OTHERWISE NOTED.

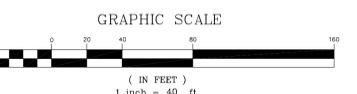
NOTE: PERMEABILITY RATE INCLUDES A FACTOR OF SAFETY OF 2.

TEST PIT#	PERMEABILITY IN/HR	ESTIMATED SEASONAL HIGH GROUND WATER TABLE
1	0.68	177.1
2	N/A	171.6
3	3.32	176.8
4	N/A	179.2
5	N/A	178.9
6	N/A	178.8
7	N/A	178.5
8	N/A	N/A

TBM #	DESCRIPTION	ELEV.
1	HYDRANT FLANGE BOLT HYDRANT	183.42
2	HYDRANT FLANGE BOLT HYDRANT	185.84

LEGEND:

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- INFILTRATION BASIN
- SAW-CUT LINE
- TEST PITS



DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-13-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-13-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-13-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-13-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-14-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-14-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-14-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

DATE	DEPTH	SOIL DESCRIPTION	REMARKS
10-14-13	1	Black Clayey Silty (Clayey)	
	2	Black Clayey Silty (Clayey)	
	3	Black Clayey Silty (Clayey)	
	4	Orange-Tan F.M. Sand and silt, some gravel	
	5	Orange-Tan F.M. Sand and silt, some gravel	
	6	Orange-Tan F.M. Sand and silt, some gravel	
	7	Orange-Tan F.M. Sand and silt, some gravel	
	8	Orange-Tan F.M. Sand and silt, some gravel	
	9	Orange-Tan F.M. Sand and silt, some gravel	
	10	Orange-Tan F.M. Sand and silt, some gravel	
	11	Orange-Tan F.M. Sand and silt, some gravel	
	12	Orange-Tan F.M. Sand and silt, some gravel	
	13	Orange-Tan F.M. Sand and silt, some gravel	

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2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016
SCALE: 1" = 40' DWG. NAME: GRADING DRAINAGE
DESIGNED BY: CMC/PGM CHECKED BY: PLC

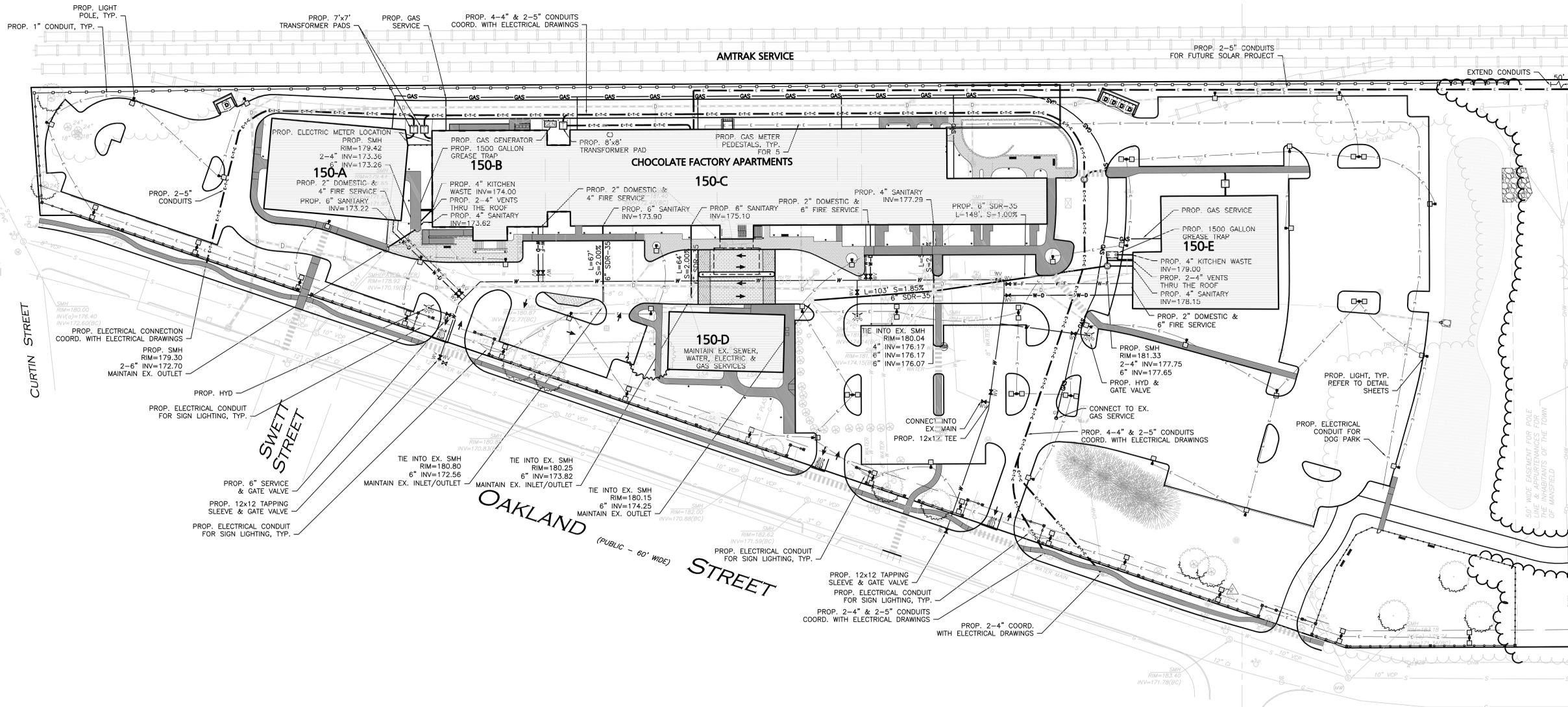


10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (508) 928-1010
FAX: (508) 928-0399

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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET NO. C-3

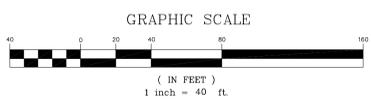


UTILITY NOTES:

- THE LATEST STANDARDS OF THE TOWN OF MANSFIELD SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY TOWN OF MANSFIELD PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LATEST STANDARDS OF THE TOWN OF MANSFIELD SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY TOWN OF MANSFIELD PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE TOWN.
- THE CONTRACTOR SHALL REFER TO ARCHITECTS & PLUMBING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ANY UTILITIES 4" OR LARGER TO BE REMOVED, ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - SEWER - SDR-35
 - DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 - WATER - C.L.O.I.
- REFER TO DEMOLITION PLAN FOR EXISTING DRAINAGE STRUCTURES AND UTILITY ABANDONMENT.
- BEFORE WORK BEGINS ON THE SEWER OR STORM DRAIN, THE CONTRACTOR WILL COORDINATE WITH THE TOWN OF MANSFIELD THE APPROPRIATE PERMIT FEE AND INSPECTION FEE.
- ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES AND A MAXIMUM OF 8'-0" COVER.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF MANSFIELD REQUIREMENTS.
- PRESSURE AND LEAKAGE TEST, DISINFECTING AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.

LEGEND:

SEWER MANHOLE	⊙
SEWER LINE	—
WATER LINE	—
WATER (FIRE SERVICE)	—W-F—
WATER (DOMESTIC SERVICE)	—W-D—
WATER VALVE	⊕
HYDRANT	⊕
WATER LINE REDUCER	▶
GAS LINE	—GAS—
GAS VALVE	⊕
GREASE TRAP	⊕
LIGHT FIXTURE	⊕
OVER HEAD WIRE	—OHW—
UTILITY POLE	⊕
ELECTRIC MANHOLE/SPLICE BOX	⊙
ELECTRIC CONDUIT	—E—
ELEC./TELE./CABLE CONDUIT	—E-C—



ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A	DATE: 2-1-2016
SCALE: 1" = 40'	DWG. NAME: UTILITIES
DESIGNED BY: CMC/PGM	CHECKED BY: PLC

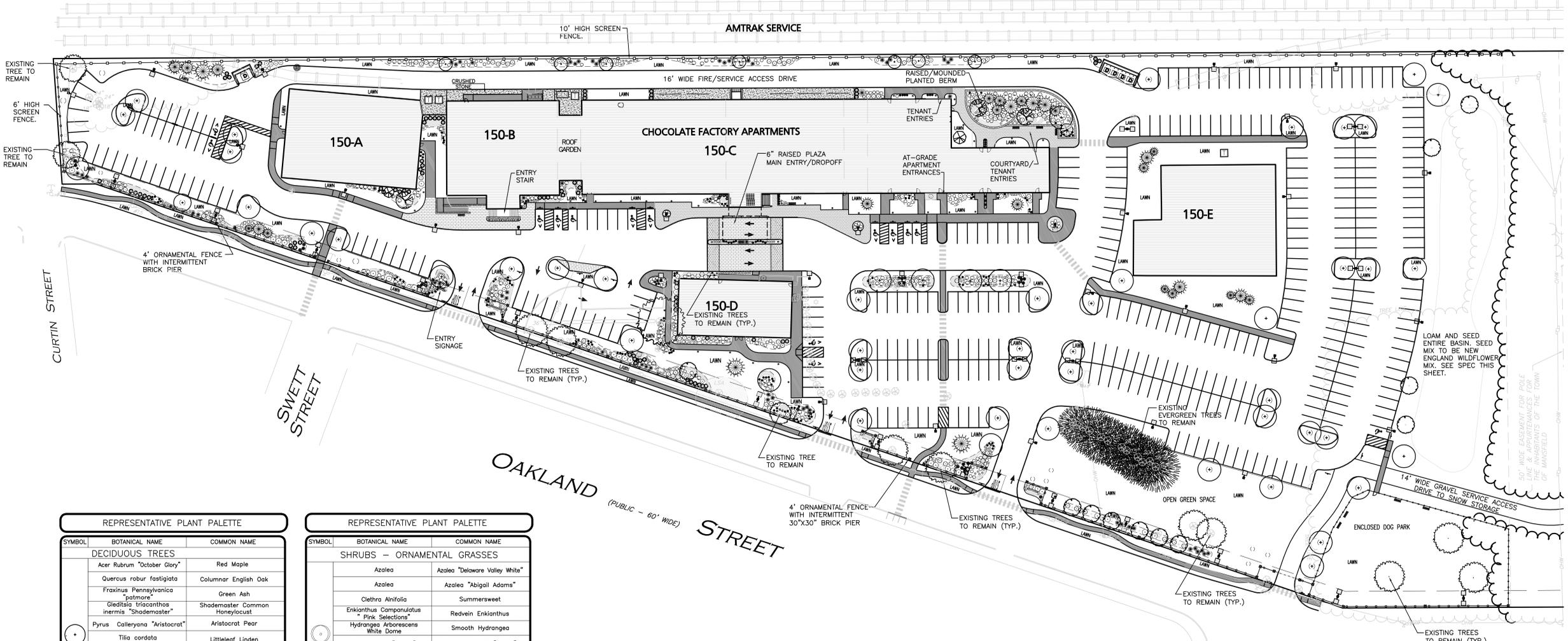


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civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (508) 928-1010
FAX: (508) 928-0399
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DRAWING TITLE: **UTILITY PLAN** SHEET No. **C-4**



REPRESENTATIVE PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME
DECIDUOUS TREES		
○	<i>Acer Rubrum</i> "October Glory"	Red Maple
○	<i>Quercus robur fastigiata</i>	Columnar English Oak
○	<i>Fraxinus Pennsylvanica</i>	Green Ash
○	<i>Gleditsia triacanthos inermis</i> "Shademaster"	Shademaster Common Honeylocust
○	<i>Pyrus Calleryana</i> "Aristocrat"	Aristocrat Pear
○	<i>Tilia cordata</i>	Littleleaf Linden
○	<i>Zelkova serrata</i>	Green Vase Japanese Zelkova
○	<i>Acer ginnala tataricum compactum</i>	Amur maple
○	<i>Acer griseum</i>	Paperbark Maple
○	<i>Acer palmatum</i> var.	Japanese Maple
○	<i>Fagus sylvatica fastigiata</i>	Daweyk Green Beech
○	<i>Betula papyrifera</i>	Paper Birch
○	<i>Pyrus Calleryana</i> "Jazzam"	Jack Callery Pear
EVERGREEN TREES		
○	<i>Picea glauca</i>	Canadian Spruce
○	<i>Pinus Nigra</i>	Austrian Pine
○	<i>Picea omorika</i>	Serbian Spruce
○	<i>Cryptomeria Japonica</i>	Japanese Cedar
○	<i>Chamaecyparis obtusa</i>	Cypress
○	<i>Picea omorika</i>	Serbian Spruce
○	<i>Pinus Mugo Mugo</i>	Mugo Pine
○	<i>Taxus cuspidata nana pyramidalis</i>	Dwarf Upright Yew
○	<i>Taxus x media hickii</i>	Yew
FLOWERING TREES		
○	<i>Amelanchier x grandiflora autumn brilliance</i>	Shadobush Serviceberry
○	<i>Cercia canadensis</i>	Eastern Redbud
○	<i>Cornus Kousa</i>	Kousa Dogwood Multistem Clump
○	<i>Cornus mas</i>	Corneliancherry Dogwood
○	<i>Koeleruteria paniculata fastigiata</i>	Golden Rain Tree
○	<i>Malus "Spring Snow"</i>	Flowering crabapple
○	<i>Malus Zumi "Calocarpa"</i>	Zumi crabapple
○	<i>Prunus sargentii</i>	Sargent Cherry
○	<i>Prunus subhirtella "Holly Joliette"</i>	Higan Cherry
○	<i>Syringa reticulata</i>	Japanese Tree Lilac
○	<i>Thuja Occidentalis Emerald</i>	American arborvitae
○	<i>Thuja Occidentalis Malonyana Aurea</i>	American arborvitae
○	<i>Thuja Occidentalis Rosenthalii</i>	American arborvitae

REPRESENTATIVE PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME
SHRUBS - ORNAMENTAL GRASSES		
○	<i>Azalea</i>	Azalea "Delaware Valley White"
○	<i>Azalea</i>	Azalea "Abigail Adams"
○	<i>Clethra Alnifolia</i>	Summersweet
○	<i>Enkianthus Campanulatus</i>	Redvein Enkianthus
○	<i>Hydrangea Arborescens White Dome</i>	Smooth Hydrangea
○	<i>Ilex crenata "Helleri"</i>	Japanese Holly "Helleri"
○	<i>Ilex glabra "Densa"</i>	Inkberry "densa"
○	<i>Juniperus chinensis "Seagreen"</i>	Chinese "Seagreen" Juniper
○	<i>Juniperus horizontalis</i>	Plumosa Compacta Youngstown Juniper
○	<i>Kerria Japonica "Golden Guinea"</i>	Japanese Kerria
○	<i>Kalmia Latifolia</i>	Mountain Laurel
○	<i>Ligustrum Ovalifolium</i>	California Privet
○	<i>Miscantus sinensis</i>	Japanese Silver Grass "Morning Light"
○	<i>Miscantus sinensis</i>	Japanese Silver Grass "Yaku Jima"
○	<i>Pennisetum Alopecuroides "Harmain"</i>	Dwarf Fountain Grass
○	<i>Picea Glauca "Sander's Blue"</i>	Dwarf Blue Spruce
○	<i>Rhododendron</i>	Rhododendron "Checkmate"
○	<i>Rhododendron</i>	Rhododendron "Tottenham"
○	<i>Rhododendron</i>	Rhododendron "Landmark"
○	<i>Spiraea Japonica "shirobi"</i>	Peppermintstick Spirea
○	<i>Thuja occidentalis nigra</i>	Darl American Arborvitae
○	<i>Taxus X Media "Hatfieldi"</i>	Yew - "Hatfieldi"
○	<i>Viburnum Dentatum</i>	Viburnum "Blue Muffin"
○	<i>Vinca minor</i>	Myrtle
PERENNIALS		
○	<i>Aster novae-angliae "Purple Dome"</i>	New England Aster
○	<i>Astilbe chinensis</i>	Astilbe - "Love and Pride"
○	<i>Geranium Sanguineum</i>	Bloody Cranebill
○	<i>Hemerocallis x Happy Returns</i>	Daylily
○	<i>Hosta</i>	Hosta - "Pilgrim"
○	<i>Hosta</i>	Hosta - "Regal Splendor"
○	<i>Hosta</i>	Hosta - "Ginko Craig"
○	<i>Iris Enseta (kaempferi)</i>	"Royal Roba" Japanese Iris
○	<i>Leucanthemum x superbum (maximum)</i>	Shasta Daisy
EDGE OF PLANT BED		

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MANSFIELD, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS OR PERENNIALS SHALL HAVE 18" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILDER CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.

MANSFIELD, MA ZONING ORDINANCE SECTION 4.3 LANDSCAPING 4.3.6 LANDSCAPE BUFFER STRIPS

- DEPTH
 - ALONG PUBLIC R.O.W NO LESS THAN 15'
 - COMPOSITION NO MORE THAN 25% MULCH OR NON-LIVING
 - DENSITY OF PLANTINGS
 - 1 TREE/27LF OF FRONTAGE (1352/27=50 TREES)
 - 4 SHRUBS/100 SF OF BUFFER STRIP
 - OPAQUE SCREENS
 - SIDE & REAR MIN. 6' HIGH STREET LINE MIN. 3' HIGH
 - WALLS & FENCES EXCEEDING 4.5' HIGH MUST HAVE PLANTINGS ON RESIDENTIAL SIDE
 - EVERGREEN TREES/SHRUBS SPACING NO MORE THAN 5'

* 1,352' LOT FRONTAGE IS FROM NORTHERN CORNER OF PROPERTY TO THE 50' WIDE POWER EASEMENT. TOTAL LOT FRONTAGE = 2,074'

GENERAL NOTES:

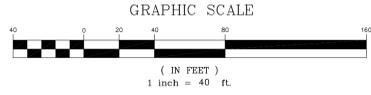
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH OF TOPSOIL. THE 18" OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITH TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 18" MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.

4.3.8 LANDSCAPE WITHIN OFF-STREET PARKING AREAS

- USE OF LANDSCAPE ISLANDS AS BUFFERS N/A
- STANDARDS FOR LANDSCAPED ISLANDS
 - GENERAL
 - DIVIDER ISLANDS
 - DIVIDER ISLAND/4 ROWS OF PARKING
 - TREES SPACED NON MORE THAN 27' APART
 - SHRUB/5 LF OR 1 SHRUB/35 S.F. TOTAL OF ISLANDS = 3,676 SF/35 S.F. = 105 SHRUBS
 - TERMINAL ISLANDS
 - SEPARATE DRIVEWAYS AND TRAVEL LANES
 - END OF ROWS OF PARKING AND TRAVEL LANES
 - TREES WHEN ABUTTING DOUBLE ROW

NEW ENGLAND SHOWY WILDFLOWER MIX:

- | | |
|----------------------------|--------------------------|
| 1. LITTLE BLUESTEM | SCHIZACHYRIUM SCOPARIUM |
| 2. CREEPING RED FESCUE | FESTUCA RUBRA |
| 3. INDIAN GRASS | SORGHASTRUM NUTANS |
| 4. PARTRIDGE PEA | CHAMAECRISTA FASCICULATA |
| 5. SHOWY TICK TREFLOIL | DESMODIUM CANADENSE |
| 6. CANADA WILD RYE | ELYMUS CANADENSIS |
| 7. VIRGINIA WILD RYE | ELYMUS VIRGINICUS |
| 8. COMMON MILKWEED | ASCLEPIAS SYRIACA |
| 9. BEARD TONGUE | PENSTEMON DIGITALIS |
| 10. GOLDEN ALEXANDERS | ZIZIA AUREA |
| 11. BLACK EYED SUSAN | RUBRICKIA HIRTA |
| 12. LANCE LEAVED COREOPSIS | COREOPSIS LANCEOLATA |
| 13. OX EYE SUNFLOWER | HELOPSIS HELIANTHOIDES |
| 14. COMMON SNEEZEWEED | HELIENIUM AUTUMNALE |
| 15. MARSH BLAZING STAR | Liatris spicata |
| 16. CUP PLANT | SILPHIUM PERFOLIATUM |
| 17. BLUE VERVAIN | VERBENA HASTATA |
| 18. SMOOTH BLUE ASTER | ASTER LAEVIS |
| 19. NEW ENGLAND ASTER | ASTER NOVAE-ANGLIAE |
| 20. WILD BLUE FALSE INDIGO | BAPTISIA AUSTRALIS |
| 21. SPOTTED JOE PYE WEED | EUPATORIUM MACULATUM |
| 22. GRASS LEAVED GOLDENROD | EUTHAMIA GRAMINIFOLIA |
| 23. WILD BERGAMOT | MONARDA FISTULOSA |
| 24. EVENING PRIMROSE | OENOTHERA BIENNIS |
| 25. OHIO SPIDERWORT | TRADESCANTIA OHIENSIS |
| 26. EARLY GOLDENROD | SOLIDAGO JUNCEA |



ISSUED FOR SPECIAL PERMIT 2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER: THE CHOCOLATE FACTORY, LLC 338 BEACON STREET BOSTON, MA 02116

PROJECT: THE CHOCOLATE FACTORY 150 OAKLAND STREET MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016 SCALE: 1" = 40' DWG. NAME: LANDSCAPING

DESIGNED BY: CMC/PGM CHECKED BY: PLC

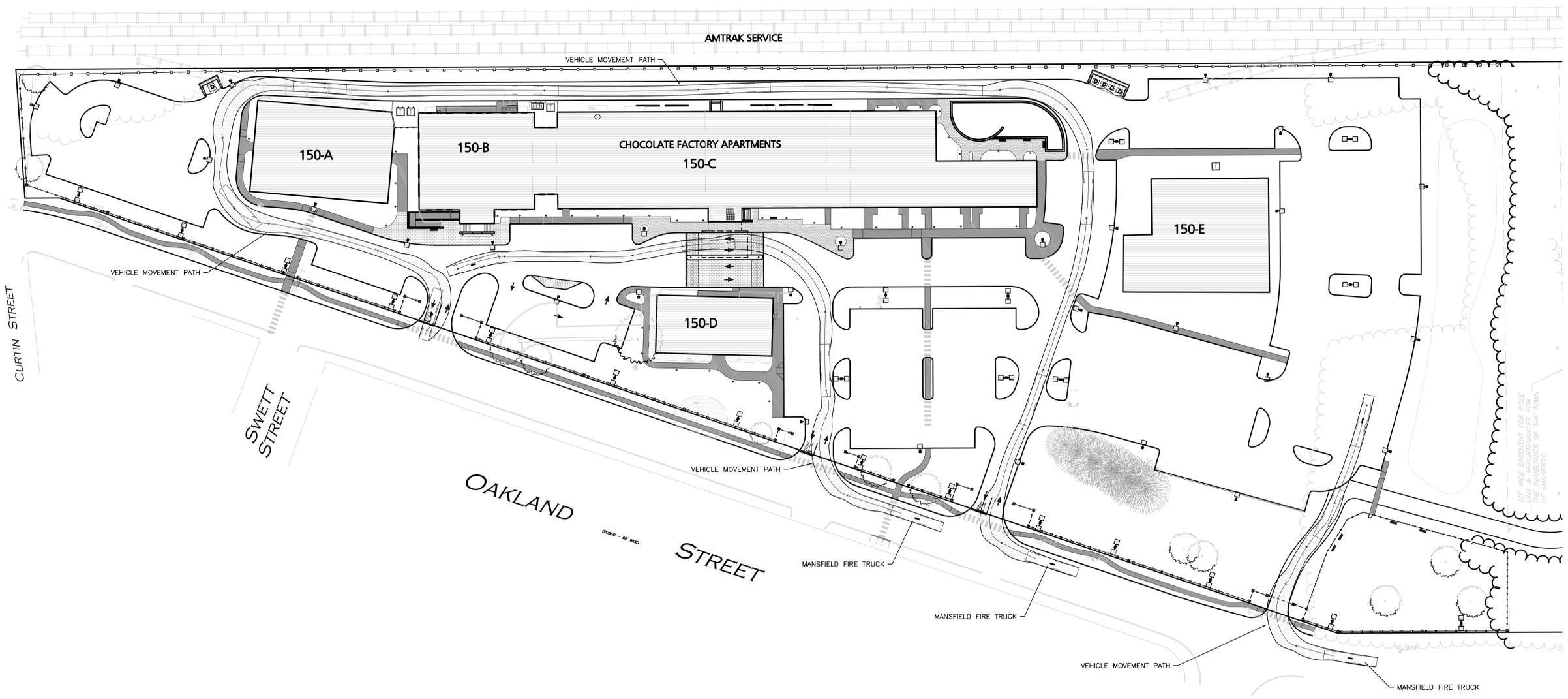


ALLEN & MAJOR ASSOCIATES, INC. civil & structural engineering • land surveying environmental consulting • landscape architecture www.allenmajor.com

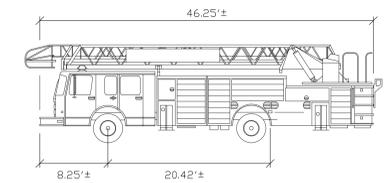
10 MAIN STREET LAKEVILLE, MA 02347-1674 TEL: (508) 928-1010 FAX: (508) 928-6809

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DRAWING TITLE: LANDSCAPE PLAN SHEET NO. C-5

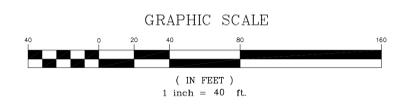


FIRE TRUCK MODEL IS ILLUSTRATIVE AND DOES NOT REFLECT THE SPECIFIC MODEL USED BY THE TOWN OF MANSFIELD. THE TURNING RADIUS AND CLEARANCES WERE PROVIDED BY THE TOWN OF MANSFIELD FIRE DEPARTMENT.



FIRE TRUCK DIMENSIONS

SAE TURNING RADIUS:	34.9 FEET
TIRE CURB CLEARANCE:	35.08 FEET
BUMPER SWING CLEARANCE:	39.97 FEET
MINIMUM INSIDE RADIUS:	19.82 FEET



ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016

SCALE: 1" = 40' DWG. NAME: VEHICLE MOVEMENT

DESIGNED BY: CMC/PGM CHECKED BY: PLC

PREPARED BY:

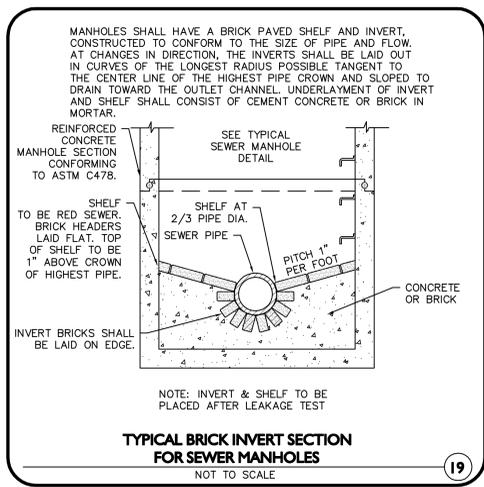


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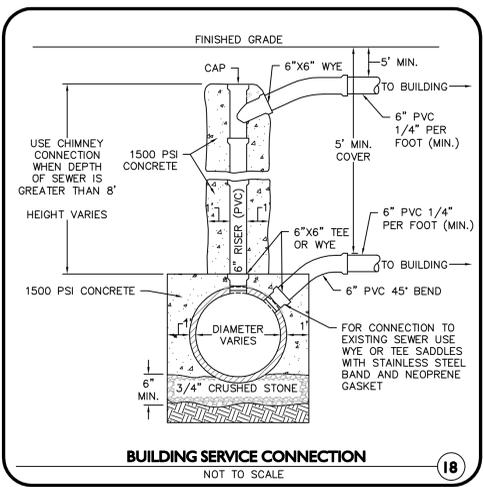
DRAWING TITLE: VEHICLE MOVEMENT PLAN SHEET No. C-6

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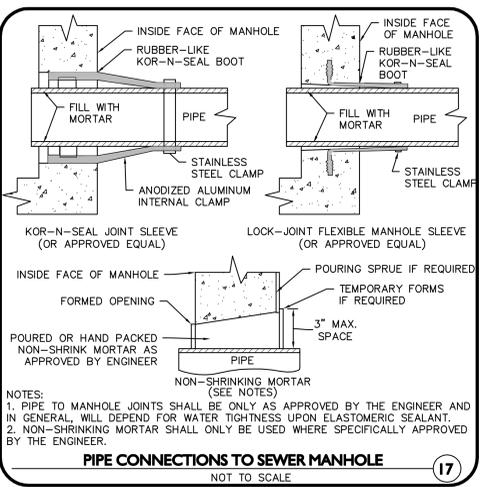
TYPICAL BRICK INVERT SECTION FOR SEWER MANHOLES
NOT TO SCALE

19



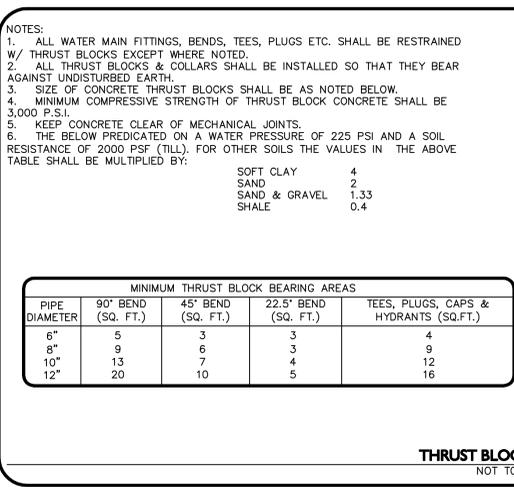
BUILDING SERVICE CONNECTION
NOT TO SCALE

18



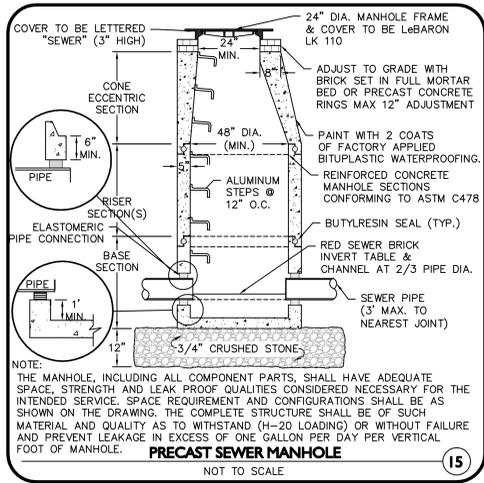
PIPE CONNECTIONS TO SEWER MANHOLE
NOT TO SCALE

17



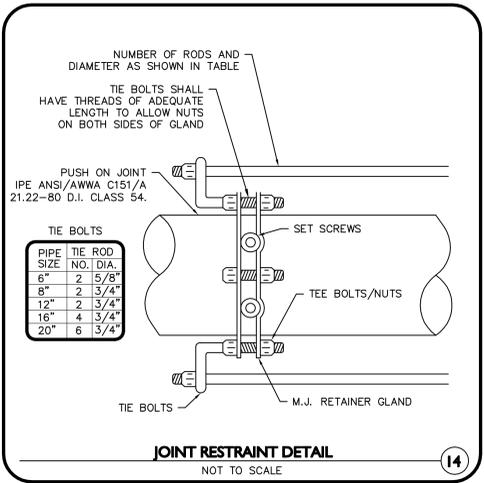
THRUST BLOCK DETAILS
NOT TO SCALE

16



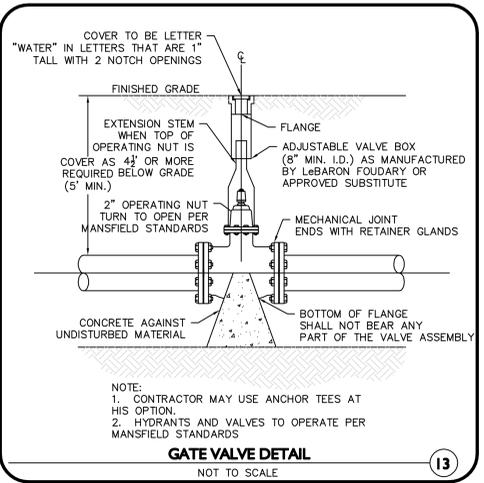
PRECAST SEWER MANHOLE
NOT TO SCALE

15



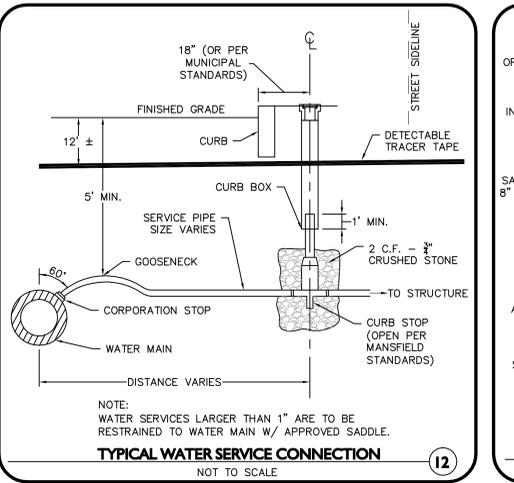
JOINT RESTRAINT DETAIL
NOT TO SCALE

14



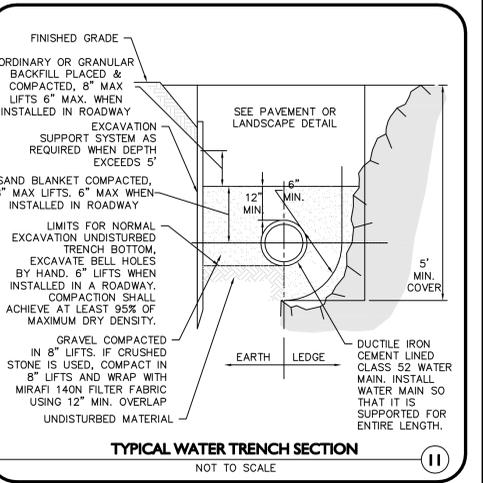
GATE VALVE DETAIL
NOT TO SCALE

13



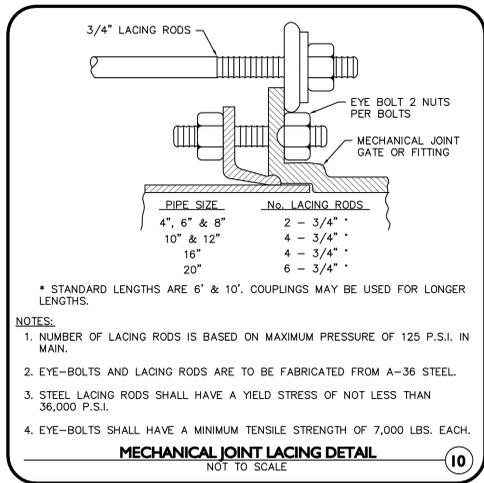
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

12



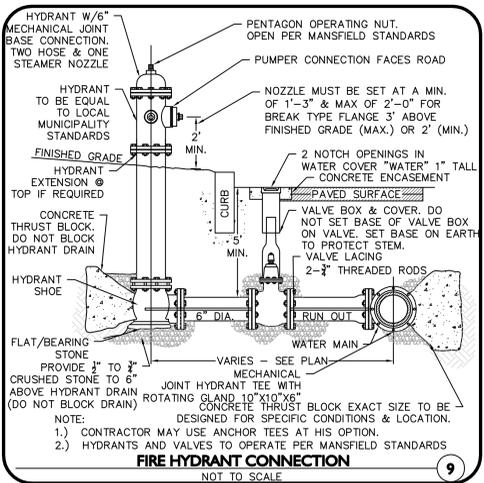
TYPICAL WATER TRENCH SECTION
NOT TO SCALE

11



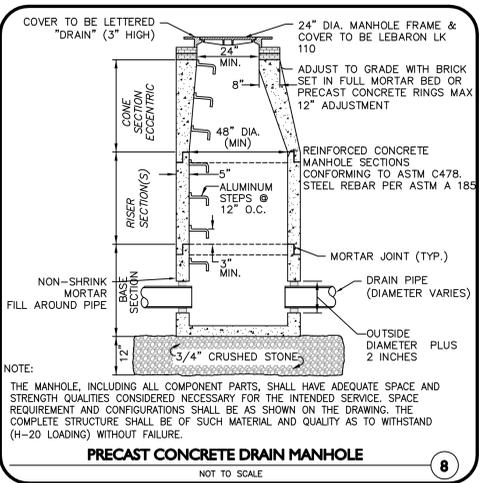
MECHANICAL JOINT LACING DETAIL
NOT TO SCALE

10



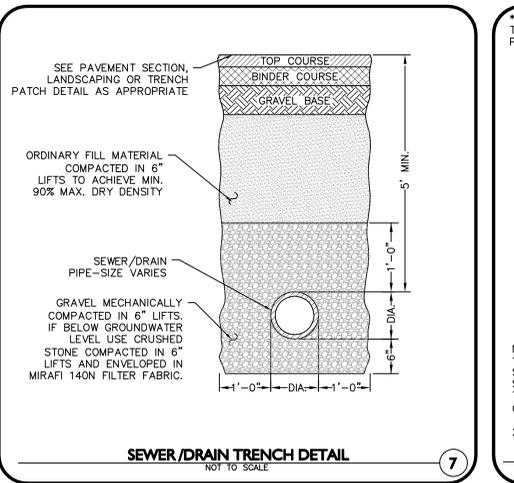
FIRE HYDRANT CONNECTION
NOT TO SCALE

9



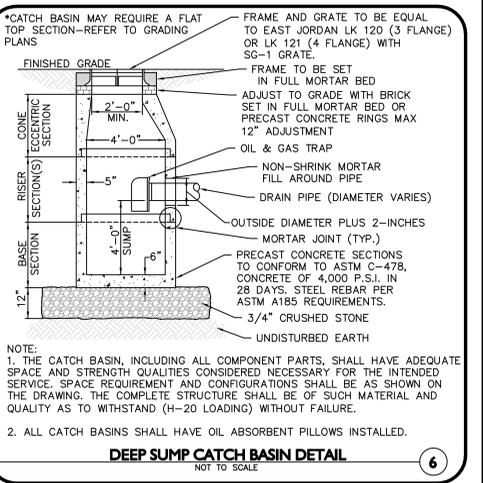
PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE

8



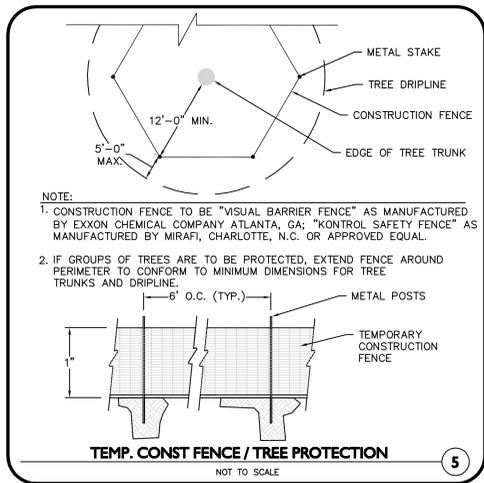
SEWER/RAIN TRENCH DETAIL
NOT TO SCALE

7



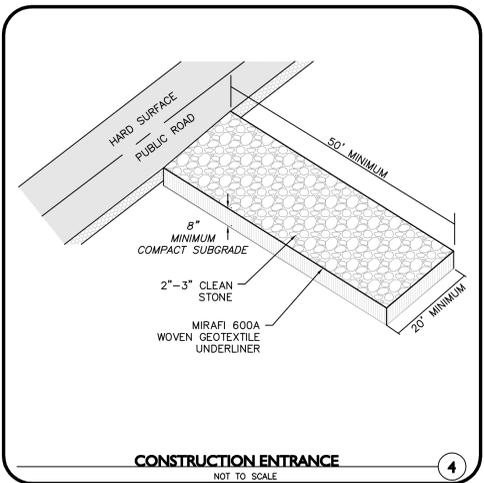
DEEP SUMP CATCH BASIN DETAIL
NOT TO SCALE

6



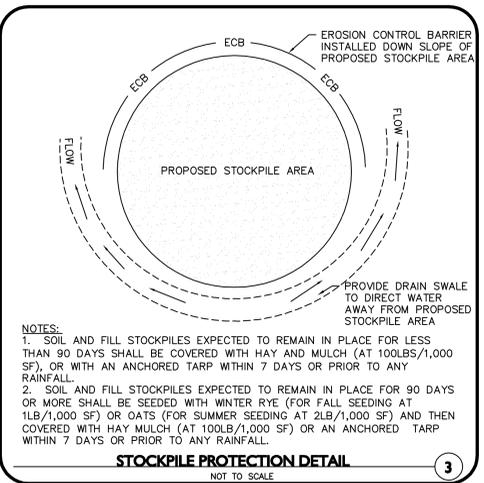
TEMP. CONST FENCE / TREE PROTECTION
NOT TO SCALE

5



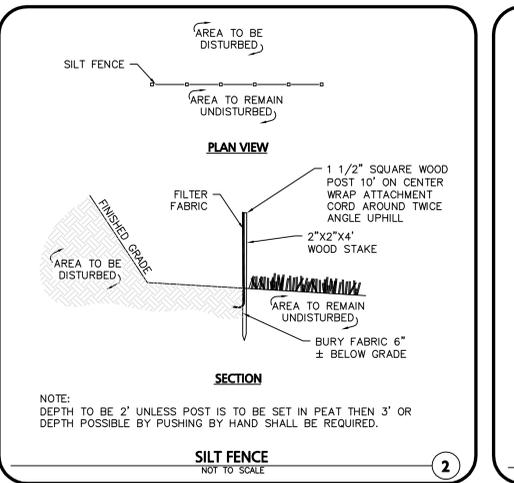
CONSTRUCTION ENTRANCE
NOT TO SCALE

4



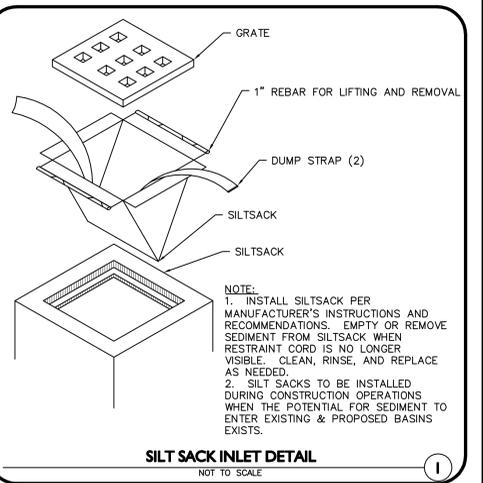
STOCKPILE PROTECTION DETAIL
NOT TO SCALE

3



SILT FENCE
NOT TO SCALE

2



SILT SACK INLET DETAIL
NOT TO SCALE

1

ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
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338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

PROJECT NO. 2063-01A DATE: 2-1-2016

SCALE: AS NOTED DWG. NAME: DETAILS

DESIGNED BY: CMC/PGM CHECKED BY: PLC

PREPARED BY:



10 MAIN STREET
LAKEVILLE, MA 02347-1674
TEL: (508) 928-1010
FAX: (508) 928-6399

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DRAWING TITLE: DETAILS SHEET No. D-2

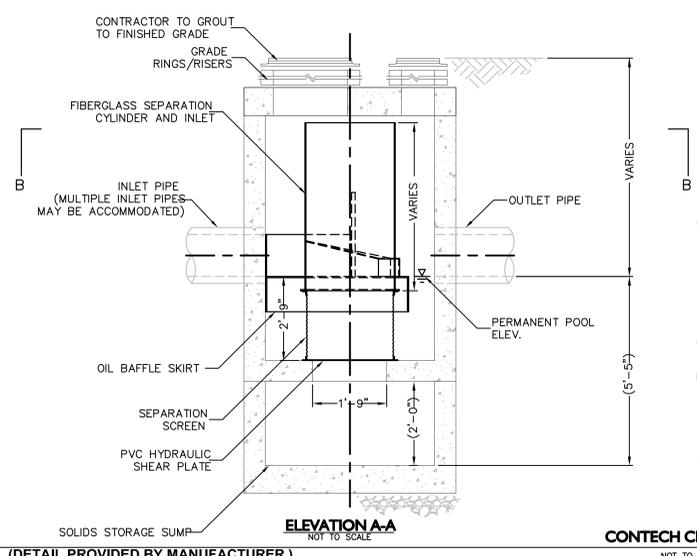
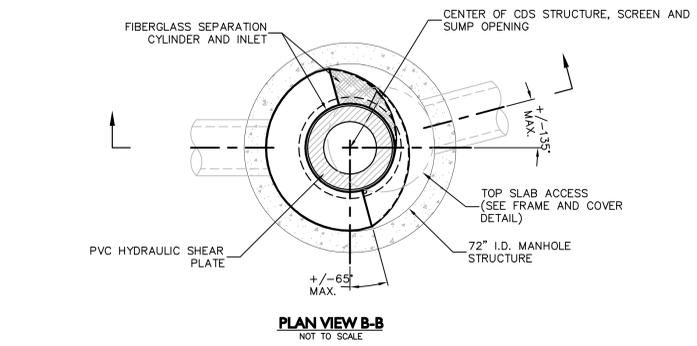
CDS2015-4-C DESIGN NOTES
 CDS 3020-6-C RATED TREATMENT CAPACITY IS 3.9 CFS OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 20.0 CFS. IF THE SITE CONDITIONS EXCEED 25.0 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED. THE STANDARD CDS 3020-6-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.



FRAME AND COVER
NOT TO SCALE

GENERAL NOTES
 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES
 1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



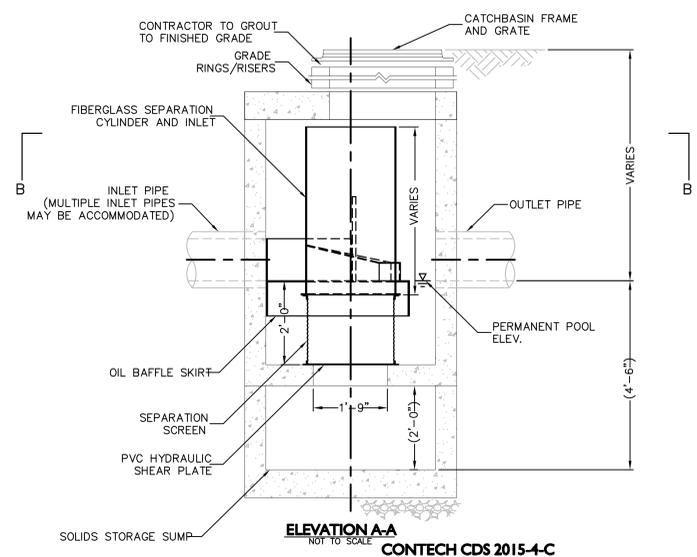
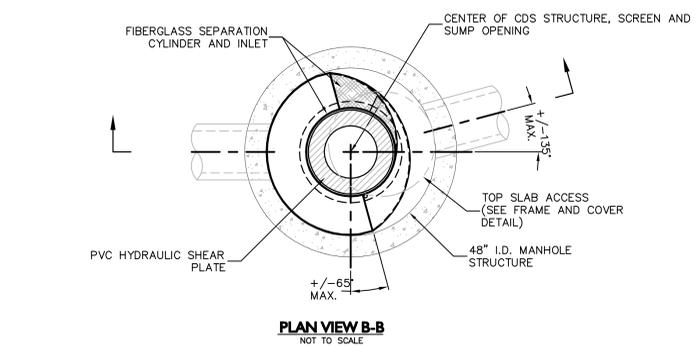
(DETAIL PROVIDED BY MANUFACTURER)

5

CDS2015-4-C DESIGN NOTES
 CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS OR PER LOCAL REGULATIONS. THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

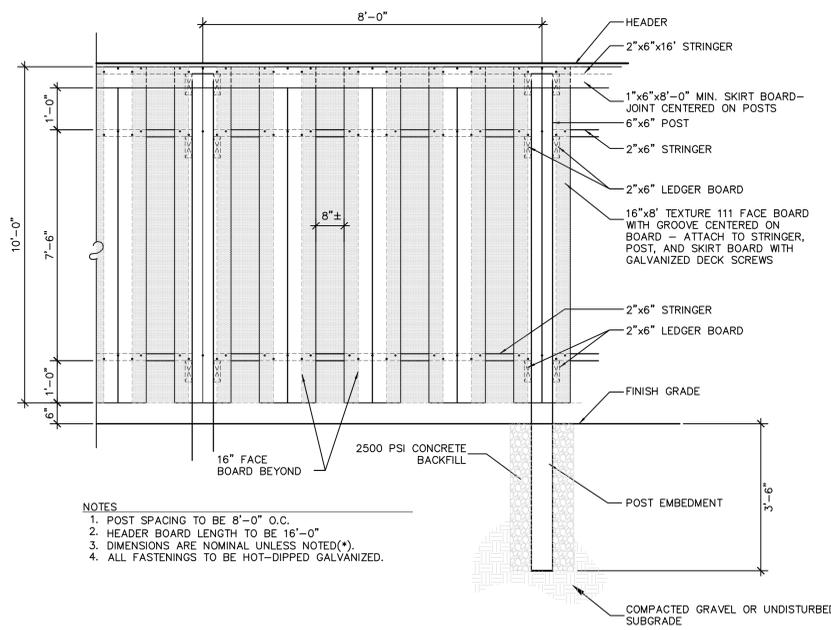
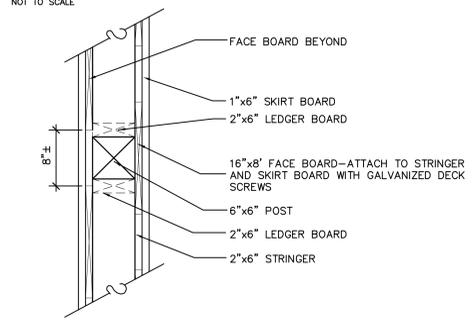
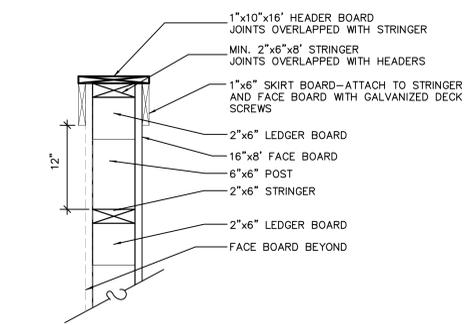
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(DETAIL PROVIDED BY MANUFACTURER)

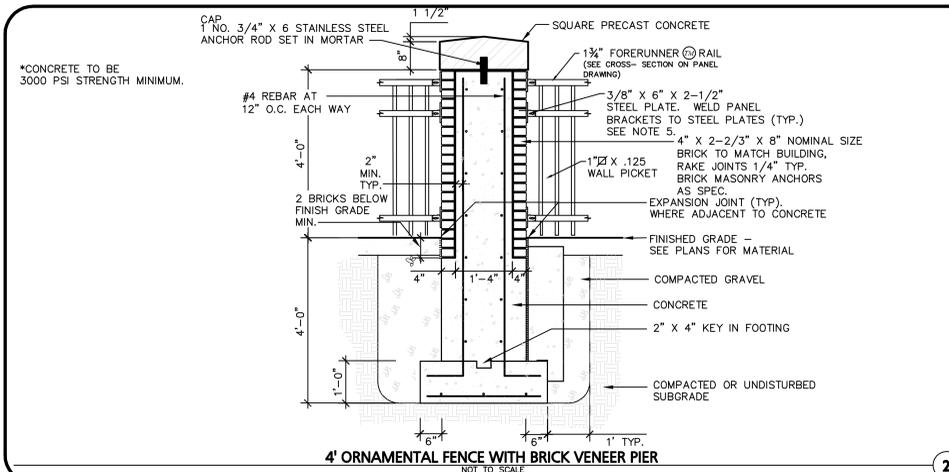
3



NOTES
 1. POST SPACING TO BE 8'-0" O.C.
 2. HEADER BOARD LENGTH TO BE 16'-0"
 3. DIMENSIONS ARE NOMINAL UNLESS NOTED(*)
 4. ALL FASTENINGS TO BE HOT-DIPPED GALVANIZED.

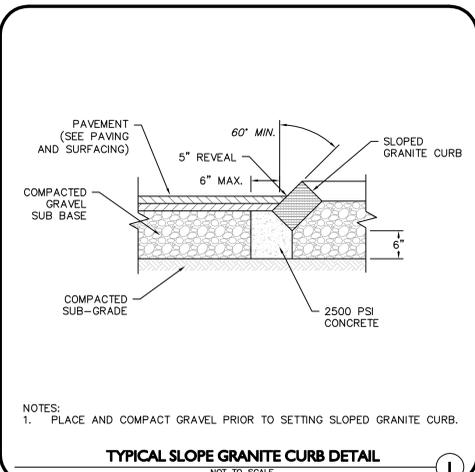
10' HIGH SCREEN FENCE-16' FACE BOARDS
NOT TO SCALE

4



*CONCRETE TO BE 3000 PSI STRENGTH MINIMUM.

2



NOTES:
 1. PLACE AND COMPACT GRAVEL PRIOR TO SETTING SLOPED GRANITE CURB.

TYPICAL SLOPE GRANITE CURB DETAIL
NOT TO SCALE

1

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2-1-2016

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 environmental consulting • landscape architecture
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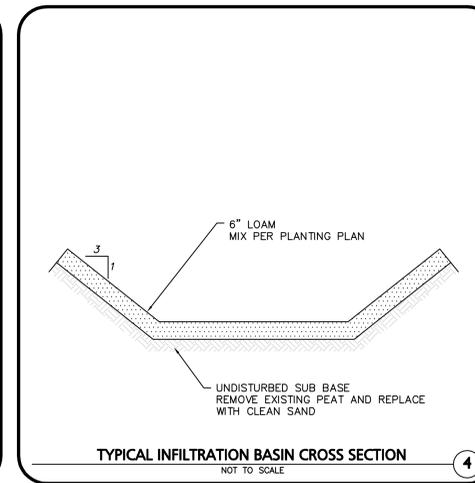
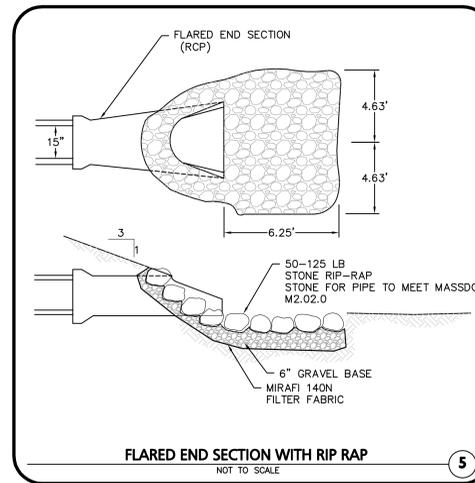
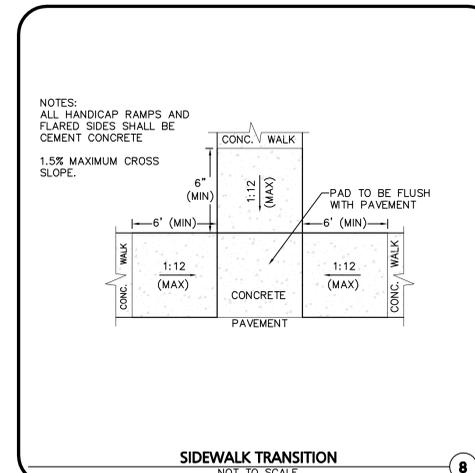
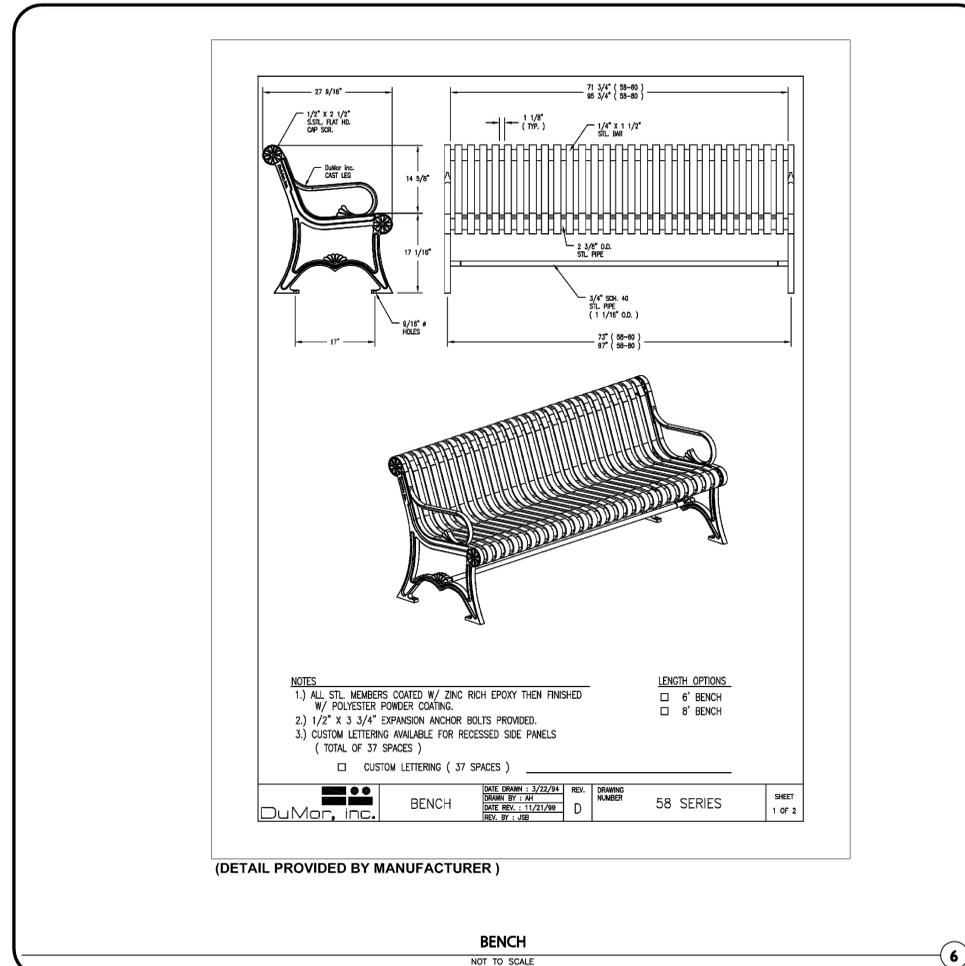
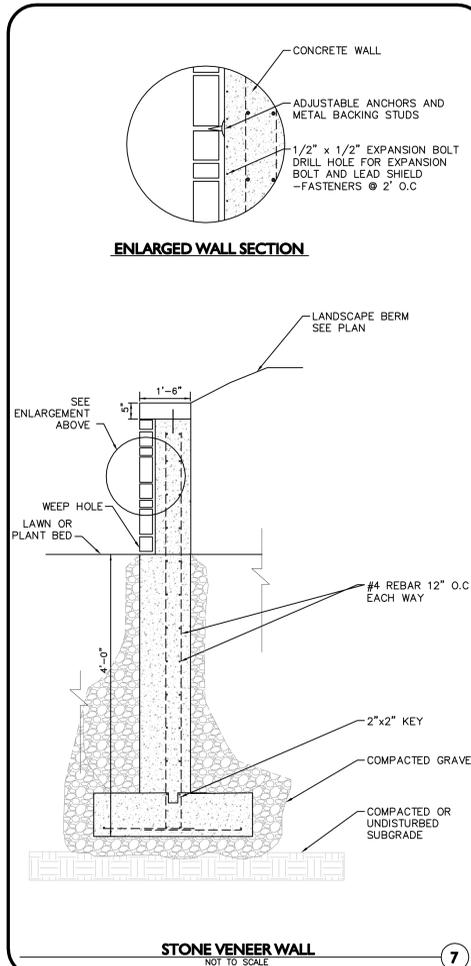
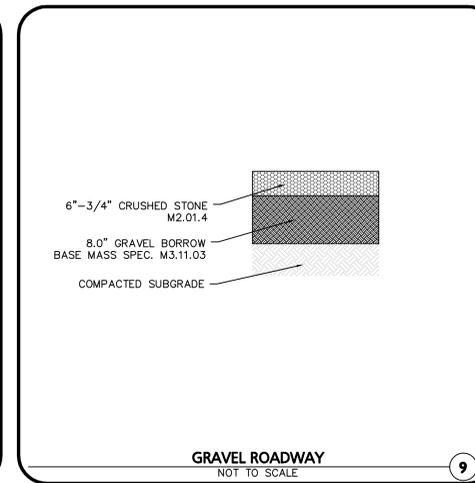
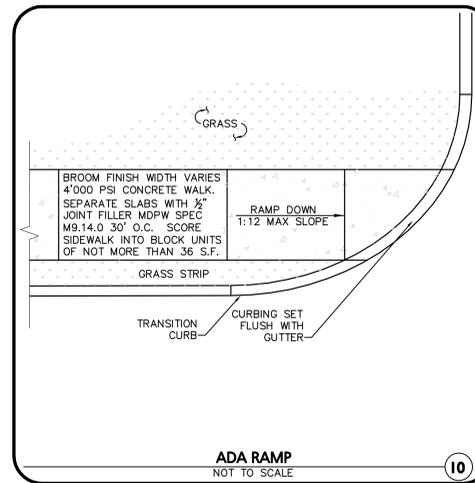
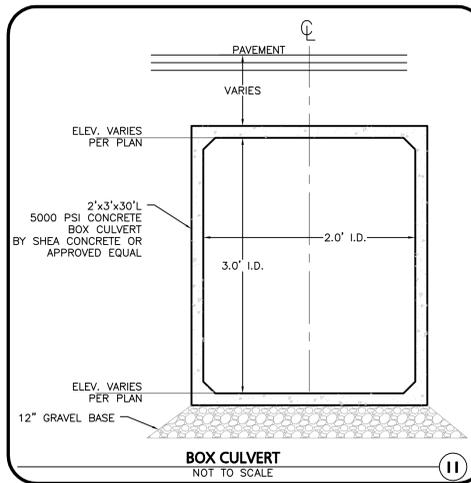
10 MAIN STREET
 LAKEVILLE, MA 02347-1674
 TEL: (508) 928-1010
 FAX: (508) 928-0399

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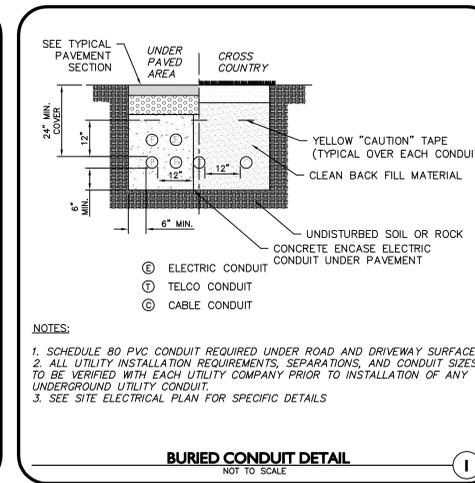
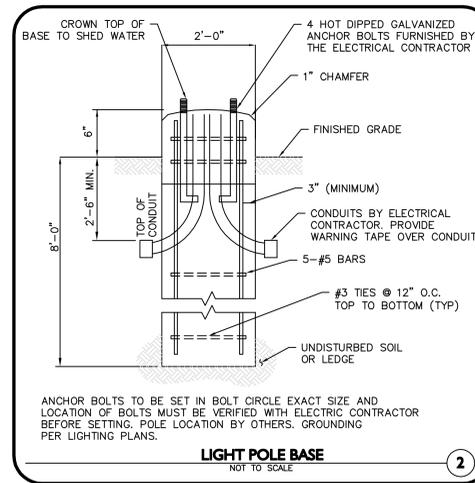
DRAWING TITLE: DETAILS SHEET No. D-3

ABBREVIATIONS:

ABAN	ABANDON	FA	FIRE ALARM	R&R	REMOVE & RESET/REPLACE
ADA	AMERICANS WITH DISABILITIES ACTS	FCC	FLUSH CONCRETE CURB	R&S	REMOVE & STACK
ADJ	ADJUST	FES	FLARED END SECTION	RCP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FFE	FINISH FLOOR ELEVATION	RD	ROAD (OR ROOF DRAIN)
B	BORING	FLNP	FIRE LANE NO PARKING	RED	REDUCER
BC	BOTTOM OF CURB	FPS	FEET PER SECOND	RELOC	RELOCATE
BIT	BITUMINOUS	FS	FIRE SERVICE	REN	REMOVE
BOB	BITUMINOUS CONCRETE BERM	FT	FOOT/FEET	RET	RETAIN, RETAINING OR RETENTION
BLDG	BUILDING	GC	GENERAL CONTRACTOR	R	RIGHT OF WAY
BM	BENCH MARK	GS	GAS GATE	RR	RAILROAD
BOS	BOTTOM OF SLOPE	GR	GUIDE RAIL	RWL	RAIN WATER LEADER
BOW	BOTTOM OF WALL	GRAN	GRANITE	RWY	ROADWAY
BRK	BRICK	GV	GATE VALVE	SD	SUBDRAIN
BV&B	BUTTERFLY VALVE & BOX	CV&B	GATE VALVE & BOX	SF	SQUARE FEET
BVW	BORDERING VEGETATED WETLAND	GW	GROUND WATER	SGC	SLOPED GRANITE CURB
CATV	CABLE TELEVISION	H	HORIZONTAL	SMH	SEWER MANHOLE
CB	CATCH BASIN	HOR	HORIZONTAL	SP	STANDPIPE
CF	CUBIC FEET	HT	HEIGHT	SPEC	SPECIFICATION
CFS	CUBIC FEET PER SECOND	HW	HEADWALL	STA	STATION
CI	CAST IRON (PIPE)	HWY	HIGHWAY	STC	STORMCEPTOR
CL	CENTERLINE	HYD	HYDRANT	STD	STANDARD
CLDI	CEMENT LINED DUCTILE IRON (PIPE)	ID	INSIDE DIAMETER	STR	STRUCTURAL
CLF	CHAIN LINK FENCE	IN	INCHES	SWL	SOLID WHITE EDGE LINE
CM	CONSTRUCTION MANAGER	INCL	INCLUDE	SW	SOLID WHITE LANE LINE
CMP	CORRUGATED METAL PIPE	INST	INSTALLED	SYCL	SOLID YELLOW CENTERLINE
CO	CLEAN OUT	INV, I.E.	INVERT, INVERT ELEVATION	TC	TOP OF CURB
CONC	CONCRETE	L	LENGTH	TD	TRENCH DRAIN
CONST	CONSTRUCTION	LB	LEACHING BASIN	TEL	TELEPHONE
CONT	CONTRACTOR	LP	LIGHT POLE	TMH	TELEPHONE MANHOLE
CRD	COORDINATE	MH	MANHOLE	TOS	TOP OF SLOPE
CPP	CORRUGATED POLYETHYLENE PIPE	MAT	MATERIAL	TOW	TOP OF WALL
CUL	CULVERT	MAX	MAXIMUM	TP	TEST PIT
CY	CUBIC YARD	MH	MANHOLE	TS&V	TAPPING SLEEVE & VALVE
DB	DISTRIBUTION BOX	MIN	MINIMUM	TYP	TYPICAL
DBL	DOUBLE	MISC	MISCELLANEOUS	UD	UNDERDRAIN
DEM	DEMOLISH	MTD	MOUNTED	UL	UNDERWRITERS LABORATORY
DET	DETENTION	MW	MONITORING WELL	UP	UTILITY POLE
DI	DUCTILE IRON (PIPE)	N	NORTH	V	VERTICAL
DIA	DIAMETER	NIC	NOT IN CONTRACT	VCP	VITRIFIED CLAY PIPE
DIM	DIMENSION	NO	NUMBER	VERT	VERTICAL
DMH	DRAIN MANHOLE	NTS	NOT TO SCALE	VGC	VERTICAL GRANITE CURB
DW	DOMESTIC WATER (OR DRY WELL)	OC	ON CENTER	WD	WOOD
DWG	DRAWING	OD	OUTSIDE DIAMETER	WG	WATER GATE
DYCL	DOUBLE YELLOW CENTERLINE	OHW	OVERHEAD WIRE	WM	WATER MAIN
EHH	ELECTRIC HANDHOLE	OW	OBSERVATION WELL	WMH	WATER MANHOLE
EL	ELEVATION	PC	POINT OF CURVATURE	WSO	WATER SHUTOFF
ELEC	ELECTRIC	PCC	PRECAST CONCRETE CURB		
EMH	ELECTRIC MANHOLE	PI	POINT OF INTERSECTION		
EOP	EDGE OF PAVEMENT	PKG	PARKING		
EOR	EDGE OF ROAD	PL	PROPERTY LINE		
EOW	EDGE OF WETLANDS	PLMB	PLUMBING		
ETC	ELECTRIC, TELEPHONE, CABLE	PCC	POINT ON CURVATURE		
EXIST	EXISTING	POT	POINT ON TANGENT		
EXT	EXTERIOR	PRC	POINT OF REVERSE CURVATURE		
		PROP, P	PROPOSED		
		PT	POINT (OR POINT OF TANGENT)		
		PVC	POLYVINYL CHLORIDE (PIPE)		



REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLECTORIZED
R1-1	STOP	30\"/>			
RS-1	DO NOT ENTER	30\"/>			
R6-1L	ARROW	36\"/>			
W11-2	WALKING	30\"/>			



ISSUED FOR SPECIAL PERMIT
2-1-2016

ADAPTIVE REUSE OF HISTORIC STRUCTURES



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

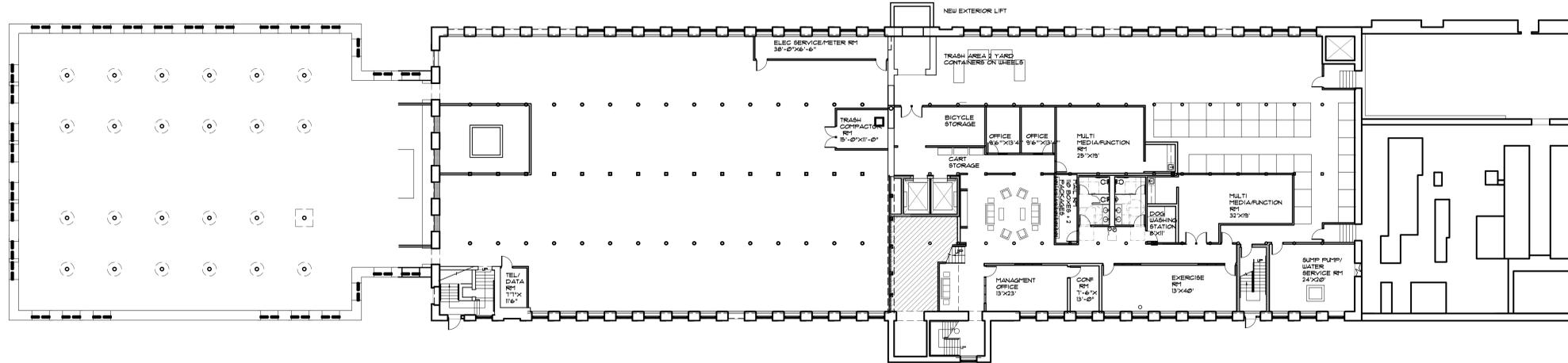
APPLICANT/OWNER:
THE CHOCOLATE FACTORY, LLC
338 BEACON STREET
BOSTON, MA 02116

PROJECT:
THE CHOCOLATE FACTORY
150 OAKLAND STREET
MANSFIELD, MA

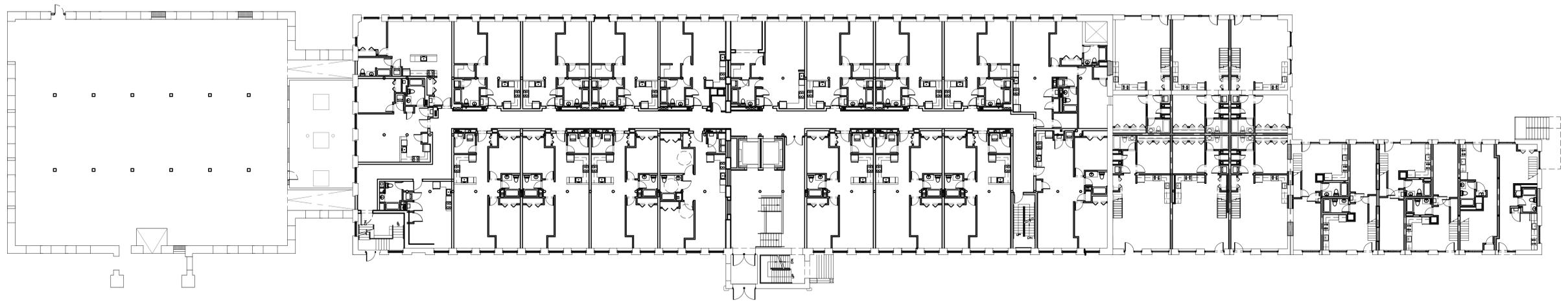
PROJECT NO. 2063-01A DATE: 2-1-2016
SCALE: AS NOTED DWG. NAME: DETAILS
DESIGNED BY: CMC/PGM CHECKED BY: PLC



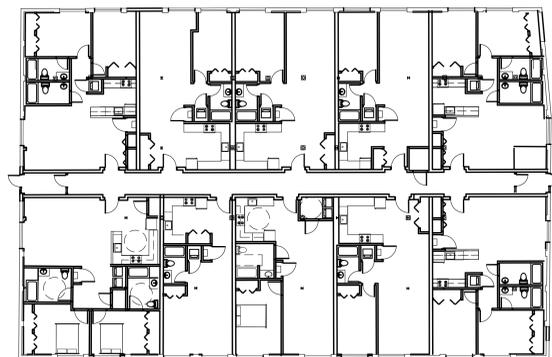
WORLEN, MA • LAKEVILLE, MA • MANCHESTER, NH
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR THEIR INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENTS AUTHORITY ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.
DRAWING TITLE: DETAILS SHEET No. D-4



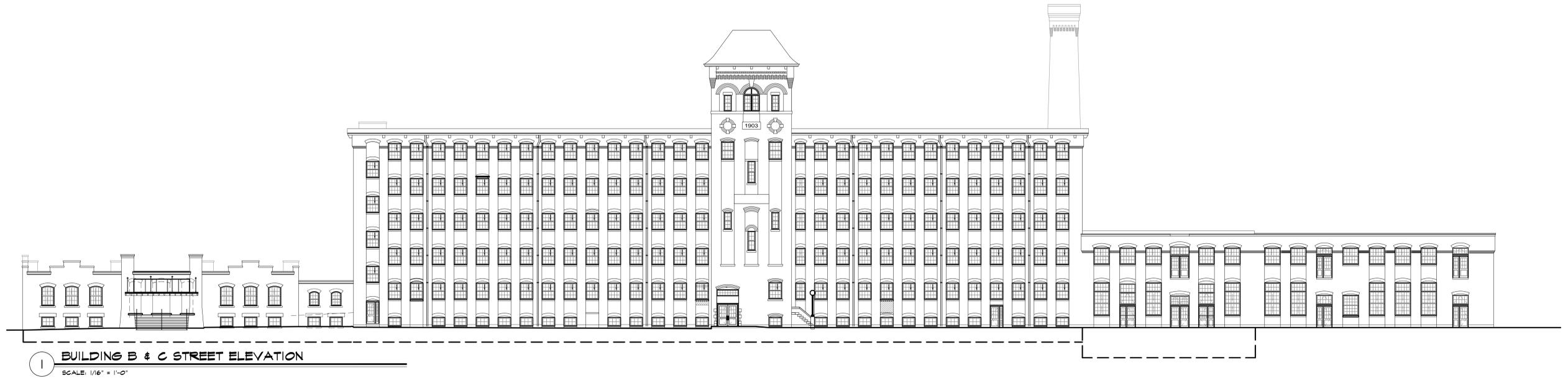
1 BUILDING B & C BASEMENT PLAN
SCALE: 1/16" = 1'-0"



2 BUILDING B & C 1ST FLR PLAN
SCALE: 1/16" = 1'-0"



3 BUILDING A 1ST FLR PLAN
SCALE: 1/16" = 1'-0"



1 BUILDING B & C STREET ELEVATION

SCALE: 1/16" = 1'-0"



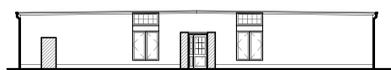
2 BUILDING B & C RAILWAY ELEVATION

SCALE: 1/16" = 1'-0"



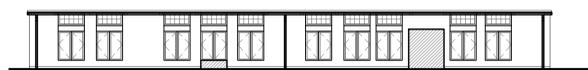
3 BUILDING A STREET ELEVATION

SCALE: 1/16" = 1'-0"



4 BUILDING A LEFT ELEVATION

SCALE: 1/16" = 1'-0"



5 BUILDING A RAILWAY ELEVATION

SCALE: 1/16" = 1'-0"



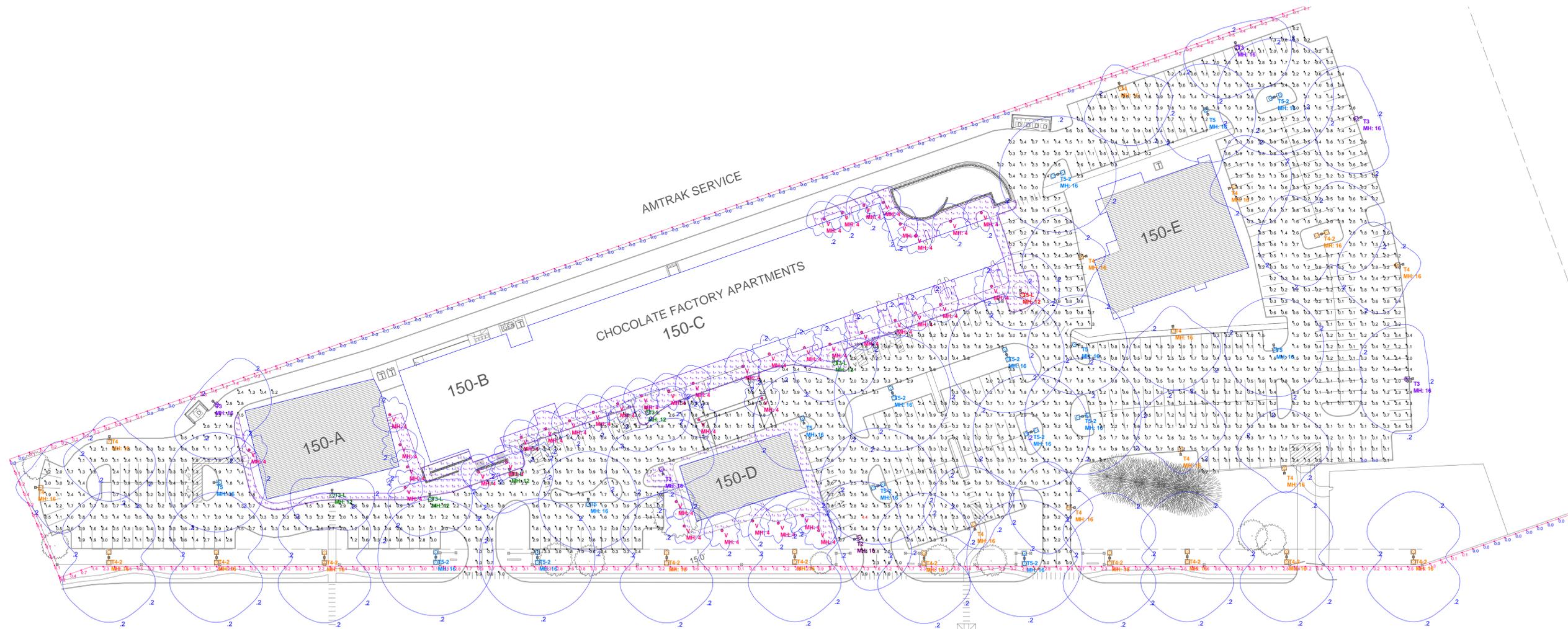
4 BUILDING A RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PARKING LOT	Illuminance	Fc	1.22	4.4	0.0	N.A.	N.A.	readings taken at grade
PROPERTY LINE	Illuminance	Fc	0.38	3.4	0.0	N.A.	N.A.	readings taken at grade
SIDEWALK	Illuminance	Fc	1.25	4.0	0.1	12.50	40.00	readings taken at grade
SIDEWALK 2	Illuminance	Fc	1.19	2.7	0.0	N.A.	N.A.	readings taken at grade

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Filename
⊖	6	T5	SINGLE	6254	0.900	UCM-T5-32LED-4K-700-BLK	UCM-T5-32LED-4K-700.ies
⊖	1	T5-L	SINGLE	4002	0.900	UCM-T5-32LED-4K-450	UCM-T5-32LED-4K-450.ies
⊖	1	T2	SINGLE	6202	0.900	UCM-T2-32LED-4K-700-BLK	UCM-T2-32LED-4K-700.ies
⊖	5	T3	SINGLE	6159	0.900	UCM-T3-32LED-4K-700-BLK	UCM-T3-32LED-4K-700.ies
⊖	11	T4	SINGLE	4937	0.900	UCM-T4-32LED-3K-700	UCM-T4-32LED-3K-700.IES
⊖	10	T5-2	BACK-BACK	6254	0.900	2@180_UCM-T5-32LED-4K-700-BLK	UCM-T5-32LED-4K-700.ies
⊖	11	T4-2	BACK-BACK	4937	0.900	2@180_UCM-T4-32LED-3K-700	UCM-T4-32LED-3K-700.IES
⊖	5	T3-L	SINGLE	3942	0.900	UCM-T3-32LED-4K-450	UCM-T3-32LED-4K-450.ies
⊖	41	V	SINGLE	1012	0.900	VRB2-20L4K	vrb2-20L4k.ies

NOTE:
- ALL BUILDING WERE ASSUMED 20' BLOCKING OBJECTS



View_1:Plan Rotated 0 Tilted 0
Scale: 1 inch= 50 Ft.

- NOTES
1. EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS
 2. CALCULATIONS SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS IN THE AREA.
 3. READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN.
 4. FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 5. TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
 6. THE LAYOUT DRAWING MUST BE COORDINATED WITH SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 7. CALCULATIONS ARE BASED ON IES FILES SUPPLIED BY THE CLIENT.

CHOCOLATE FACTORY MANSFIELD, MA
REVISED LIGHTING LAYOUT
USING GIVEN LOCATIONS

DESIGNED BY:
J. DURAN
SCALE: AS SHOWN
REFERENCE: H07243C.GI

HUBBELL INCORPORATED
584 DEAN MILCROD ROAD
ORANGE, CT 06477-4024
(203) 799-4100

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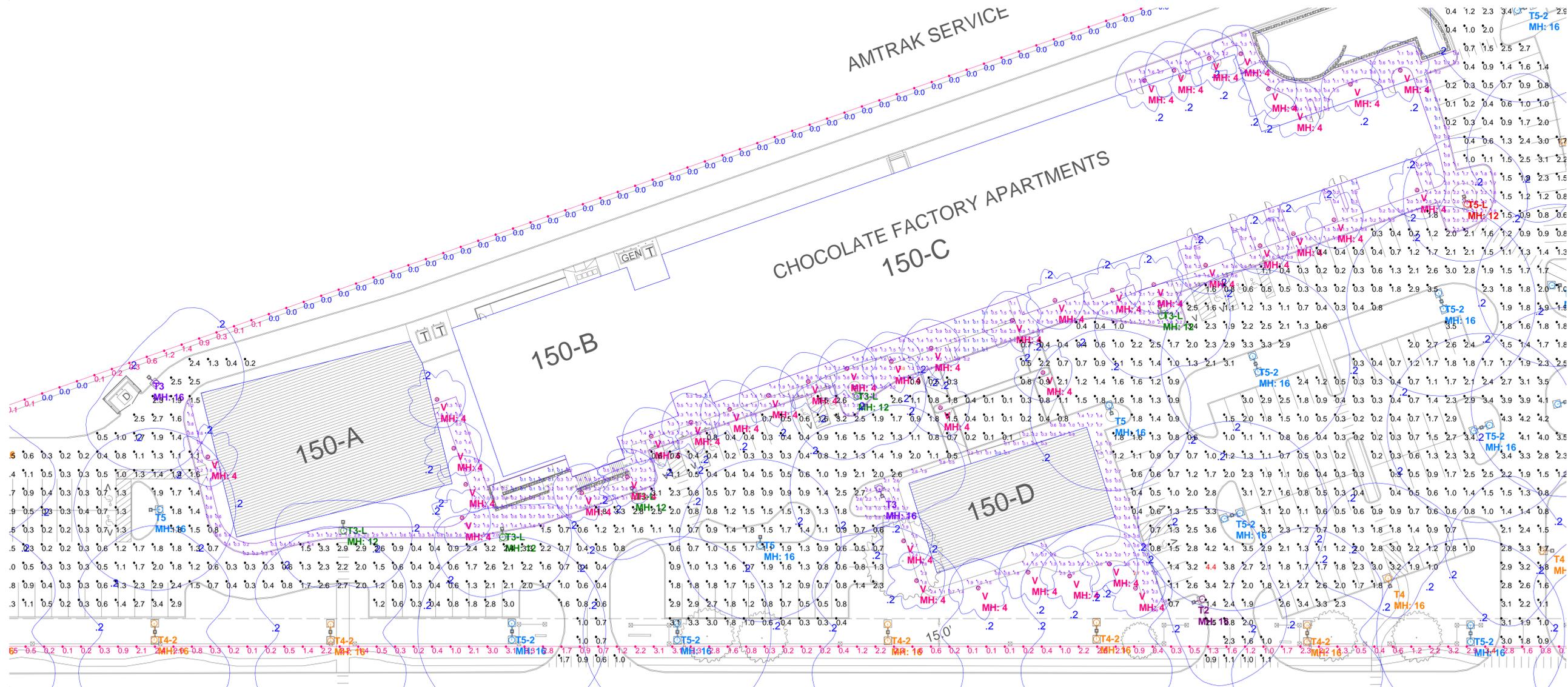


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CHOCOLATE FACTORY MANSFIELD, MA
REVISED LIGHTING LAYOUT
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SCALE: AS SHOWN
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SHEET 1 OF 1

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